

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JUNE 15, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the May 25, 2021 Planning and Zoning Commission meetings.

(2) **P2021-026 (DAVID GONZALES)**

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 56 single-family residential lots on a 38.012-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(3) **SP2021-014 (HENRY LEE)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Chuck Vickers of T&C Main Street Holdings, LLC for the approval of an Amended Site Plan for an office building on a 0.50-acre parcel of land identified as Bock 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 108 St. Mary Street, and take any action necessary.

(IV) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(4) **Z2021-014 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(5) **Z2021-015 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

(6) **Z2021-016 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a Specific Use Permit (SUP) allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

(7) **Z2021-017 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of RBB/GCF Properties, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

(8) **Z2021-018 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the Hitt Family, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

(9) **Z2021-019 (RYAN MILLER)**

Hold a public hearing to discuss and consider the annual update to the OURHometown Vision 2040 Comprehensive Plan (*i.e.* 2019 & 2020 Comprehensive Plan Update), and take any action necessary.

(V) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(10) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2021-022: Final Plat for Lots 1 & 2, Block A, Neller Addition **(APPROVED)**
- P2021-023: Replat for Lots 12 & 13, Block 1, Alliance Addition, Phase 2 **(APPROVED)**
- P2021-024: Replat for Lot 1, Block A, Johnson Addition **(APPROVED)**
- P2021-025: Replat for Lot 2, Block 1, Our Savior Lutheran Church Addition **(APPROVED)**
- P2021-027: Preliminary Plat for Lots 1 - 14, Block A, Creekside Commons Addition **(APPROVED)**
- P2021-028: Replat for Lot 9, Block A, Ellis Centre, Phase Two Addition **(APPROVED)**
- Z2021-008: SUP for Residential Infill at 550 E. Quail Run Road **(APPROVED; 2ND READING)**
- Z2021-009: SUP for Residential Infill at 704 Parks Avenue **(APPROVED; 2ND READING)**
- Z2021-011: SUP for an Accessory Building at 804 S. Alamo Road **(DENIED; 2ND READING)**
- Z2021-013: Text Amendment to Article 05, *District Development Standards*, of the UDC **(APPROVED; 2ND READING)**

(VI) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on June 11, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MAY 25, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Chodun called the meeting to order at 6:01 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
5 Mark Moeller, Jean Conway and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller,
6 Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica Gamez, Planner Henry Lee, and Civil Engineers
7 Sarah Johnston and Jeremy White. Absent from the meeting was City Engineer Amy Williams.
8

9 II. OPEN FORUM
10

11 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing.*
12 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised*
13 *during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting*
14 *per the Texas Open Meetings Act.*
15

16 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
17 no one coming forward, Chairman Chodun closed the open forum.
18

19 III. CONSENT AGENDA
20

21 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development*
22 *Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
23

24 1. Approval of Minutes for the May 11, 2021 Planning and Zoning Commission meeting.
25

26 2. **P2021-022 (ANGELICA GAMEZ)**

27 Consider a request by Bryan Connally of CBG Surveying Texas, LLC on behalf Helen Comeav Neller for the approval of a Final Plat for Lots 1 &
28 2, Block A, Neller Addition being an 11.368-acre parcel of land identified as Lot 7, Block 1, Lofland Lake Estates Addition, City of Rockwall,
29 Rockwall County, Texas, zoned Single-Family Estates 4.0 (SFE-4.0) District, addressed as 2380 FM549, and take any action necessary.
30

31 3. **P2021-023 (DAVID GONZALES)**

32 Consider a request by Cameron Slown, PE of Teague, Nall & Perkins on behalf of Rockwall Rental Properties, LP for the approval of a Replat for
33 Lot 12 & 13, Block 1, Alliance Addition, Phase 2 being a 4.992-acre tract of land identified as Lots 8, 9, 10, & 11, Block 1, Alliance Addition, Phase
34 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, located at
35 the southeast corner of Horizon Road [FM-3097] and Andrews Drive, and take any action necessary.
36

37 4. **P2021-024 (HENRY LEE)**

38 Consider a request by Scott H. Johnson for the approval of a Replat for Lot 1, Block A, Johnson Addition being an 0.24-acre parcel of land identified
39 as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 505
40 E. Bourne Street, and take any action necessary.
41

42 5. **P2021-025 (HENRY LEE)**

43 Consider a request by Austin McDaniel of Landev Engineers on behalf of Josh Kirby for the approval of a Replat for Lot 2, Block 1, Our Savior
44 Lutheran Church Addition being a 4.0152-acre parcel of land identified as Lot 1, Block 1, Our Savior Lutheran Church Addition, City of Rockwall,
45 Rockwall County, Texas, zoned Planned Development District 13 (PD-13), addressed as 3003 Horizon Road [FM-3097], and take any action
46 necessary.
47

48 6. **P2021-027 (DAVID GONZALES)**

49 Consider a request by Keaton Mai of the Dimension Group on behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a
50 Preliminary Plat for Lots 1-14, Block A, Creekside Commons being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey,
51 Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV)
52 District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.
53

54 7. **P2021-028 (HENRY LEE)**

55 Consider a request by Akhil D. Vats for the approval of a Replat for Lot 9, Block A, Ellis Centre, Phase Two Addition being a 0.70-acre parcel of
56 land identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated
57 within the IH-30 Overlay (IH-30 OV) District, located at the western corner of the intersection of Alpha Drive and Beta Drive, and take any action
58 necessary.
59

60 8. **P2021-029 (HENRY LEE)**

61 Consider a request by Richard and Judy Harris Family Trust for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition
62 being a 2.23-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned
63 Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street, and take any action necessary.

64
65 Commissioner Thomas made a motion to approve the consent agenda with the exception of item #8. Commissioner Moeller seconded
66 the motion which passed by a vote of 7-0.
67

68 IV. ACTION ITEMS
69

70 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and*
71 *special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of*
72 *Ordinances.*
73

74 9. MIS2021-006 (HENRY LEE)

75 Discuss and consider a request by James Best for the approval of a *Special Exception* to the standards for residential fences to allow a previously
76 constructed masonry screening wall on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall
77 County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.
78

79 Planner Henry Lee provided a brief summary in regards to the request. On October 27, 2020, the Planning and Zoning Commission
80 approved a special exception allowing a 6-foot pre-cast, concrete screening wall. Following this approval the applicant then submitted
81 an application for a building permit which was issued on December 28, 2020. However, it was brought to Staff's attention that the
82 screening wall exceeded the 6-feet that was approved. After reviewing the fence permit, Staff found that the fence permit was for an 8-
83 foot screening wall which was not in accordance with the Planning and Zoning Commission's approval. On February 23, 2021, the
84 Planning and Zoning Commission approved the applicants second special exception request allowing or a total of 8-feet for the
85 screening wall. On April 1, 2021, the Building Inspections Department brought to Staff's attention that a portion of the wall exceeded
86 the permitted 8-feet in height by as much as 9 -inches. The applicant is now returning for approval of a third special exception for the
87 screening wall to be approved as built. Staff should note that within the submitted materials, the applicant's states that columns exceed
88 8-feet by up to 12-inches. This would mean that the updated request would be for a 9-foot tall screening wall. If the applicant is denied,
89 he would be required to bring the fence into conformance with the second approval. Staff should also note that at the time the applicant
90 requested the second variance, the fence had already been constructed and listed as 8-feet was in error on the applicant's behalf.
91

92 Chairman Chodun asked the applicant to come forward.
93

94 Andrew Thomas
95 422 E. I-30, Suite F
96 Royse City, TX 75189
97

98 Mr. Thomas came forward in representation of the applicant James Best. He went on to give additional details in regards to the request.
99 He went on to explain why some of the columns failed the inspection. He added that this was a pre-cast concrete fence that was built in
100 Florida and shipped here whose panels come in 8-foot by 20-foot wide. When looking at the schematic plan, the 8-foot panels have a
101 minimum of 2-inch gap underneath them and the columns do not have that gap because they go into the ground. In addition, the columns
102 on the schematic have a decorative cap that is 3 ½ inches tall. Based on the schematics, it demonstrates on the submitted plan that
103 they are going to be slightly taller than the 8-foot panels by a minimum of 5 ½ inches. There are some characteristics on this property
104 and how you build a fence that alters the columns as well. When looking at the subject property, the front of the house faces Ridge
105 Road and the south of the house faces Shadydale Drive. The fence is constructed to where the property slopes down towards the back
106 and then down towards the north. There are 15 inches that decreases from the front of the fence and then three (3) feet down over the
107 scope of the fence from the south to the north. As a result, you have to stair step the panels to get them installed in perpendicular style.
108 Another issue is the additional height with the drainage gap causing a 2-inch gap on the bottom and 3 ½ inch on the top. Overall the
109 applicant is asking for a variance for the following: lack of landscaping, no 2-inch drainage on the column and the decorative gap, and
110 the slope of the property. The applicant is asking the City to approve the fence as constructed.
111

112 Chairman Chodun asked how they measure the height of the fence that's on a slope. Would they use something to keep it leveled at the
113 top? Mr. Lee responded that they measure from the base of the fence to the top. Chairman Chodun asked if it would vary due to the
114 slope and Mr. Lee replied that the columns do vary in height because of the topography.

115 Vice-Chairman Welch asked if they needed to measure from the inside to the outside if they were to build up when they do their
116 landscaping inside.

117 Commissioner Moeller indicated that he had an issue with approving the item.

118 Director of Planning and Zoning Ryan Miller added additional details in regards to the request.

119 Commissioner Deckard asked if the fence had been changed since last time it was approved.
120

121 Mr. Thomas (the applicant's representative) came forward and presented a photo of the constructed fence.
122

123 After further discussion, Chairman Chodun made a motion to approve item MIS2021-006. Commissioner Womble seconded the motion
124 which passed by a vote of 5-2 with Commissioners Moeller and Conway dissenting.
125

126 V. DISCUSSION ITEMS
127

128 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will*
129 *come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when*
130 *these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or*
131 *action date for the following cases is June 15, 2021.*

132
133 10. **Z2021-014 (RYAN MILLER)**

134 Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm,
135 LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District
136 land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County,
137 Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action
138 necessary.

139
140 **Chairman Chodun asked the applicant to come forward.**

141
142 **Adam Buczek**
143 **8214 Westchester Drive, Suite 900**
144 **Dallas, TX 75225**

145
146 **Mr. Buczek came forward and provided a PowerPoint presentation in regards to the request.**

147
148 **Commissioner Conway indicated how impressed she was with the updated concept plan.**

149 **Commissioner Thomas added that he was impressed as well.**

150 **Commissioner Moeller commended him on the density.**

151 **Commissioner Womble asked what the starting price point was for the houses.**

152 **Commissioner Deckard asked about the difference between prices in the housing.**

153
154 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

155
156 11. **Z2021-015 (DAVID GONZALES)**

157 Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit
158 (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall,
159 Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

160
161 **Chairman Chodun asked the applicant to come forward.**

162
163 **Ryan Withrow**
164 **4815 Terry Street**
165 **Dallas, TX 75223**

166
167 **Mr. Withrow, the architect, came forward and provided a brief summary in regards to the request. He added that they were wanting to**
168 **build a duplex two-story home in vacant lot. The lot is located within the 100-year floodplain.**

169
170 **Chairman Chodun asked if there were any variances with the request.**

171
172 **Commissioner Thomas wanted clarification that this lot was zoned for duplex housing.**

173 **Mr. Miller asked if there were garages for each of the units.**

174 **Commissioner Moeller asked if the second driveway was going to hit into the portion of the street.**

175 **Commissioner Deckard liked the aesthetics of the duplex.**

176 **Commissioner Womble asked if there was a possibility of requesting a variance with the garage issue.**

177 **Commissioner Conway asked if they could turn the existing garage into 2 garages.**

178
179 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

180
181 12. **Z2021-016 (HENRY LEE)**

182 Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of
183 a Specific Use Permit (SUP) allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre
184 parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate
185 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

186
187 **Chairman Chodun asked the applicant to come forward.**

188
189 **John Curanovic**
190 **361 Willowcrest**
191 **Rockwall, TX 75032**

192
193 **Mr. Curanovic came forward and provided brief details in regards to his request. He advised that he needed extra storage for his**
194 **belongings.**

195
196 **Chairman Chodun asked if this would be the only external structure on the property and what the size of it would be.**

197
198 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

199

200 13. **Z2021-017 (DAVID GONZALES)**

201 Hold a public hearing to discuss and consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of
202 RBB/GCF Properties, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre
203 tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG)
204 District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action
205 necessary.

206
207 **Chairman Chodun asked the applicant to come forward.**

208
209 **Tyler Wood**
210 **3055 Bridgecreek Drive**
211 **Rockwall, TX 75032**

212
213 **Mr. Wood came forward and provided a brief history of his company and details to his request.**

214
215 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

216
217 14. **Z2021-018 (DAVID GONZALES)**

218 Hold a public hearing to discuss and consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the
219 Hitt Family, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of
220 land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
221 situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard,
222 and take any action necessary.

223
224 **Chairman Chodun asked the applicant to come forward.**

225
226 **Patrick Hogan**
227 **13455 Noel Road**
228 **Galleria Office Tower, Suite 700**
229 **Dallas, TX 75240**

230
231 **Mr. Hogan came forward and gave brief details in regards to the request.**

232
233 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

234 15. **Z2021-019 (RYAN MILLER)**

235 Hold a public hearing to discuss and consider the annual update to the OURHometown Vision 2040 Comprehensive Plan (*i.e.* 2019 & 2020
236 *Comprehensive Plan Update*), and take any action necessary.

237
238 **Director of Planning and Zoning Ryan Miller gave a brief summary in regards to the request. He added that this was the annual review**
239 **of the upcoming comprehensive plan. He gave brief highlights of all the changes incorporated into the comprehensive plan.**

240
241 **Vice-Chairman Welch explained that there weren't any specific changes in regards to density.**

242
243 **After further discussion, Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on**
244 **June 15, 2021.**

245
246 16. **P2021-026 (DAVID GONZALES)**

247 Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the
248 approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 39 single-family residential lots on a 38.012-acre tract of land
249 identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned
250 Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of
251 FM-1141 and Clem Road, and take any action necessary.

252
253 **Planning and Zoning Manager David Gonzales advised the Commission that this case was going before the Parks and Recreation Board**
254 **on June 1, 2021 and will return as a Consent Agenda item at the next Planning and Zoning meeting.**

255
256 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

257
258 17. **SP2021-014 (HENRY LEE)**

259 Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Chuck Vickers of T&C Main Street Holdings, LLC for the
260 approval of an Amended Site Plan for an office building on a 0.50-acre parcel of land identified as Bock 80B of the B. F. Boydston Addition, City
261 of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 108 St. Mary Street, and take any action necessary.

262
263 **Chairman Chodun asked the applicant to come forward.**

264
265 **Jeff Carroll**
266 **750 E. Interstate 30**
267 **Rockwall, TX 75087**

268 **Mr. Carroll came forward and provided a brief summary in regards to his request.**

269
270
271 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on June 15, 2021.**

272
273 18. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 274 • P2021-019: Final Plat for Phase 2 of the Gideon Grove Subdivision [APPROVED]
- 275 • P2021-020: Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition [APPROVED]
- 276 • Z2021-008: SUP for Residential Infill at 550 E. Quail Run Road [APPROVED; 1st READING]
- 277 • Z2021-009: SUP for Residential Infill at 704 Parks Avenue [APPROVED; 1st READING]
- 278 • Z2021-010: SUP for an Accessory Building at 1748 Lake Breeze Drive [DENIED]
- 279 • Z2021-011: SUP for an Accessory Building at 804 S. Alamo Road [APPROVED; 1st READING]
- 280 • Z2021-013: Text Amendment to Article 05, *District Development Standards*, of the UDC [APPROVED; 1st READING]

281
282 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

283
284 VI. ADJOURNMENT

285
286 **Chairman Chodun adjourned the meeting at 7:20 PM.**

287
288
289 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
290 _____, 2021.

291
292
293 _____
294 Eric Chodun, Chairman

295
296 Attest:

297 _____
298 Angelica Gamez, Planning and Zoning Coordinator
299



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 15, 2021
APPLICANT: Humberto Johnson; *Skorburg Co.*
CASE NUMBER: P2021-026; *Preliminary Plat for the Winding Creek Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 56 single-family residential lots on a 38.012-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat the Winding Creek Subdivision. This subdivision is comprised of 56 single-family residential lots on a 38.012-acre tract of land. The proposed development will incorporate 9.80-acres (or 25.7%) of open space and will consist of lots constructed utilizing the Single-Family 16 (SF-16) District density and dimensional standards. Each lot will consist of a minimum size of 16,000 SF (i.e. a minimum of 90' x 100'). In addition to the Preliminary Plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. With this submittal, the applicant also submitted a preliminary treescape plan; however, these plans will not be finalized until the submittal of the PD Site Plan.
- On January 18, 2011, the City Council annexed the subject property by adopting *Ordinance No. 11-03 [Case No. A2010-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 15, 2021, the City Council approved a request to rezone the subject property from Agricultural (AG) District to Planned Development District 91 (PD-91) [i.e. *Ordinance No. 21-17*] for Single-Family 16 (SF-16) District land uses.
- On April 6, 2021, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$32,312.00 (i.e. \$577.00 x 56 Lots), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$34,104.00 (i.e. \$609.00 x 56 Lots), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Preliminary Plat* for the *Winding Creek Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-026

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **237 Clem Rd, Rockwall, TX 75087**

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION **SE corner of Clem Rd and FM1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD 21-17	CURRENT USE	Farm
PROPOSED ZONING	PD 21-17	PROPOSED USE	Single Family
ACREAGE	Approx 39	LOTS [CURRENT]	0
		LOTS [PROPOSED]	56

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Mark Taylor	<input checked="" type="checkbox"/> APPLICANT	Humberto Johnson Jr, PE - Skorburg Company
CONTACT PERSON	Mark Taylor	CONTACT PERSON	Humberto Johnson Jr., PE
ADDRESS	100 N Central Expy 237 Clem Rd	ADDRESS	8214 westchester Dr STE 900
CITY, STATE & ZIP	Rockwall TX 75087	CITY, STATE & ZIP	Dallas, Tx 75225
PHONE	972-772-4171	PHONE	214-522-4945
E-MAIL	mtaylor1045@gmail.com	E-MAIL	jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mark Taylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

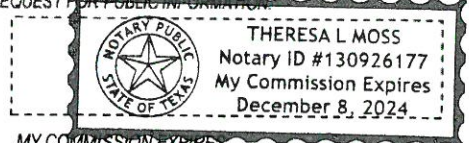
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF May, 2021

OWNER'S SIGNATURE Mark Taylor

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Theresa L Moss





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-026

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
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OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
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NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **CLEM RD @ FM1141 WM Dalton, Tract 17-01**

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION **SE corner of Clem Rd and FM1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD 21-17** CURRENT USE **Farm**

PROPOSED ZONING **PD 21-17** PROPOSED USE **Single Family**

ACREAGE **Approx 39** LOTS [CURRENT] **0** LOTS [PROPOSED] **56**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER Alex Freeman	<input checked="" type="checkbox"/> APPLICANT Humberto Johnson Jr, PE - Skorborg Company
CONTACT PERSON Alex Freeman	CONTACT PERSON Humberto Johnson Jr., PE
ADDRESS 100 N Central Expy STE 1008	ADDRESS 8214 westchester Dr STE 900
CITY, STATE & ZIP Richardson, TX 75080	CITY, STATE & ZIP Dallas, Tx 75225
PHONE 469-233-4774	PHONE 214-522-4945
E-MAIL afreeman@pinnclmontessori.com	E-MAIL jrjohnson@skorborgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Freeman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

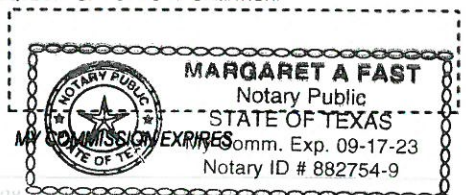
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

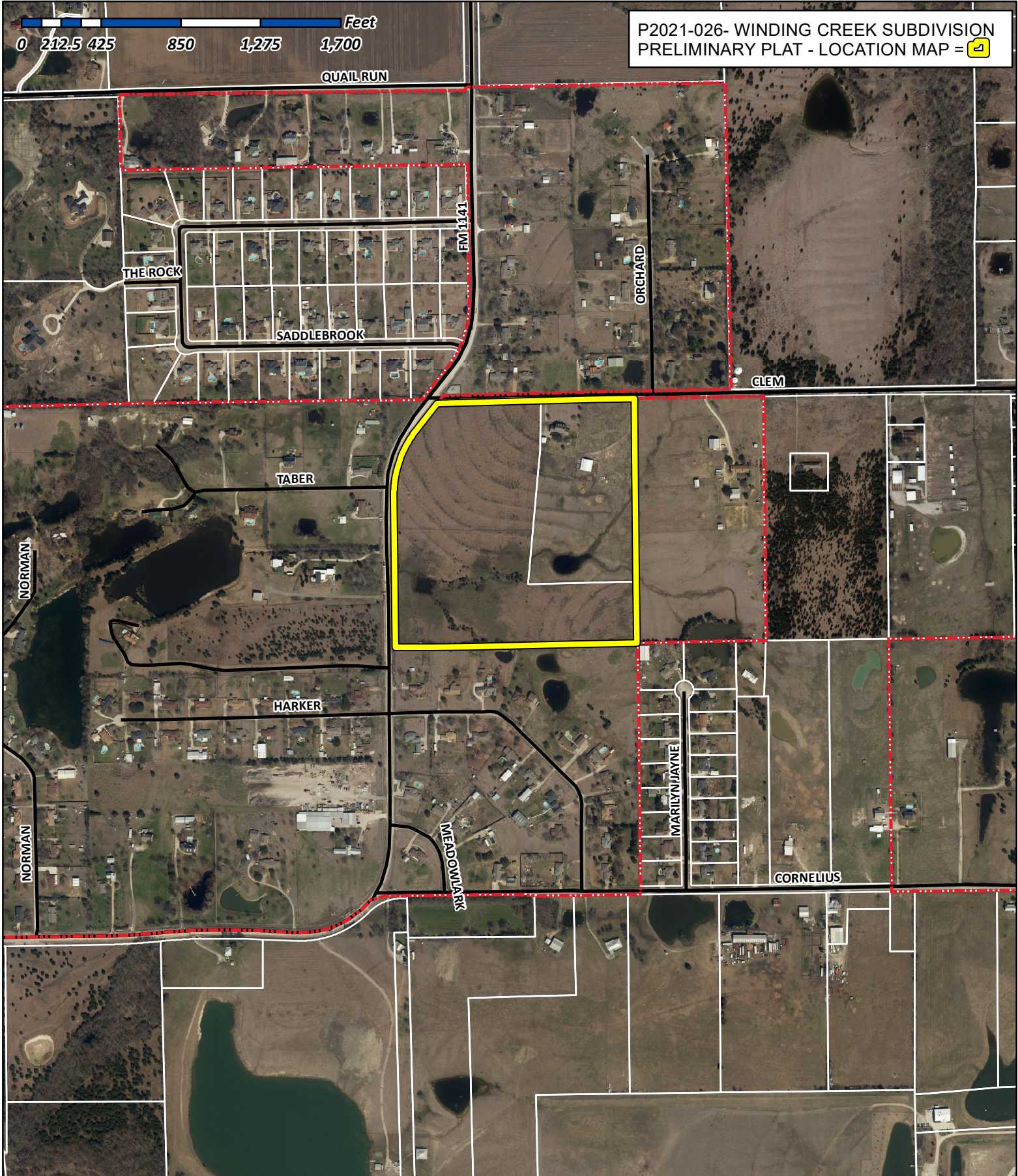
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF May, 2021.

OWNER'S SIGNATURE

Alex Freeman
Margaret A Fast

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°03'56" E	42.68'
2.	N 45°56'04" W	42.18'
3.	N 45°29'10" W	42.51'
4.	S 44°30'50" W	42.35'

NOTES:
 ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 HOA/PROPERTY OWNER TO MAINTAIN, REPLACE AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.

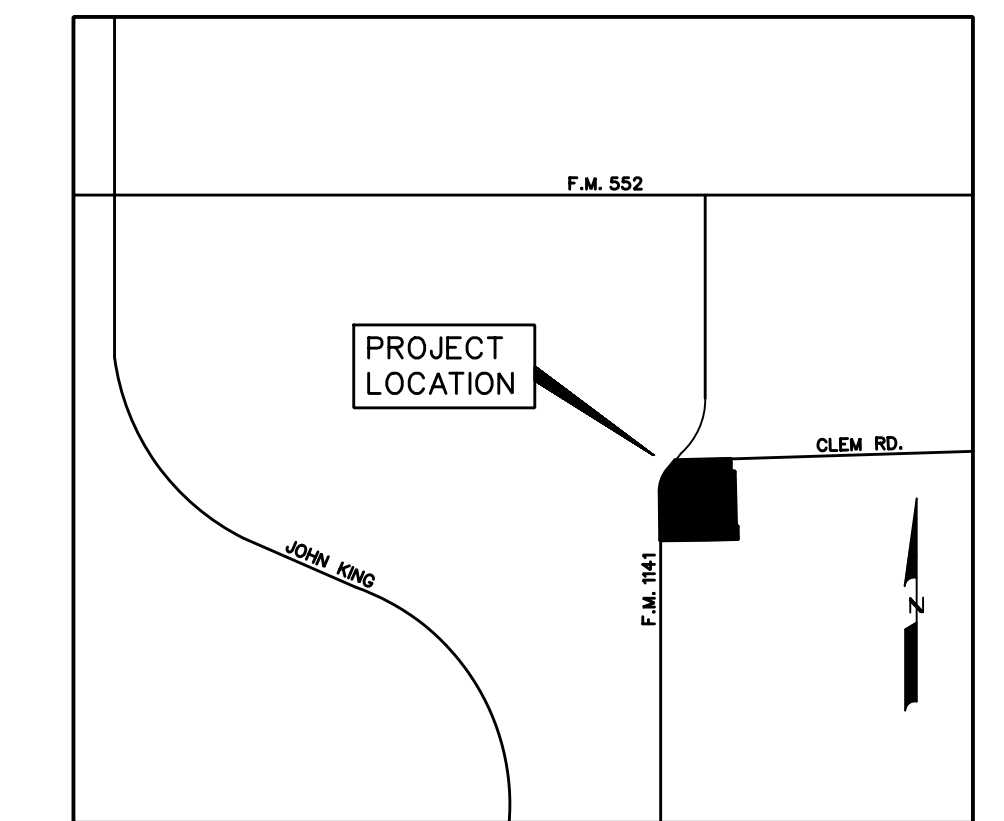
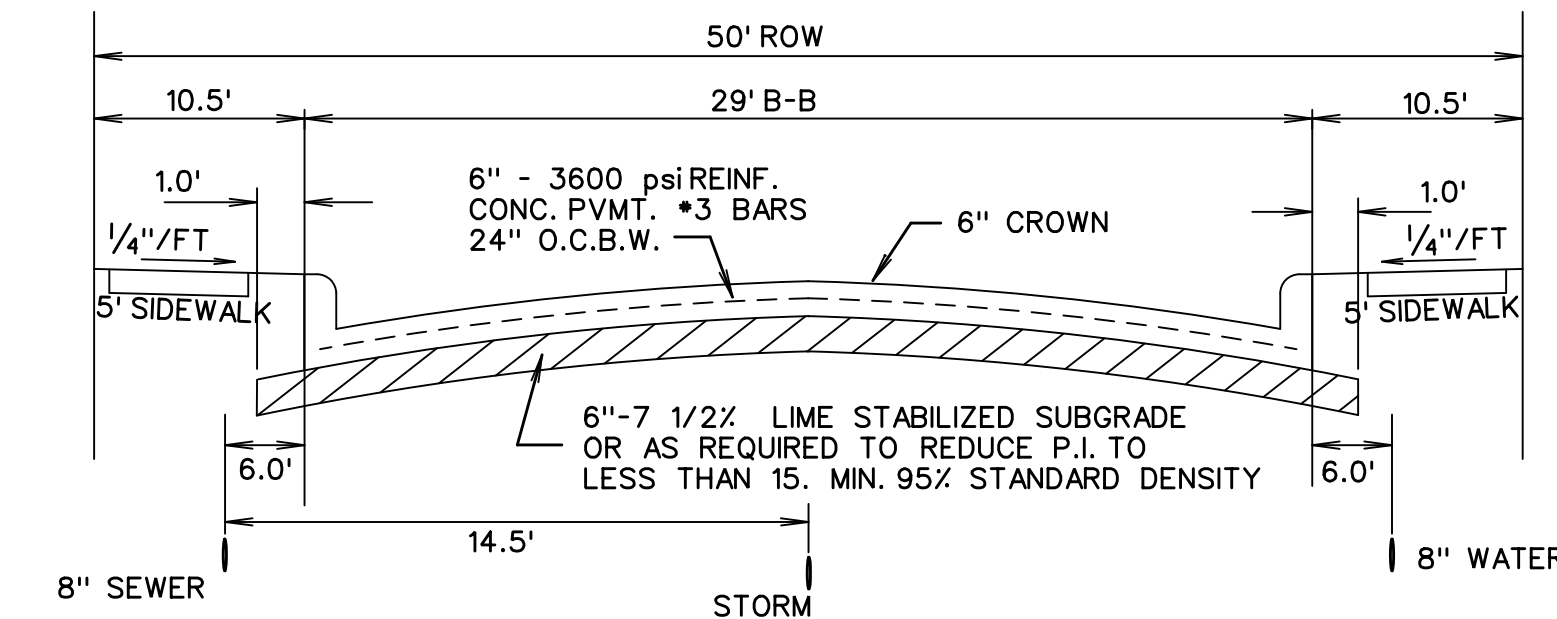
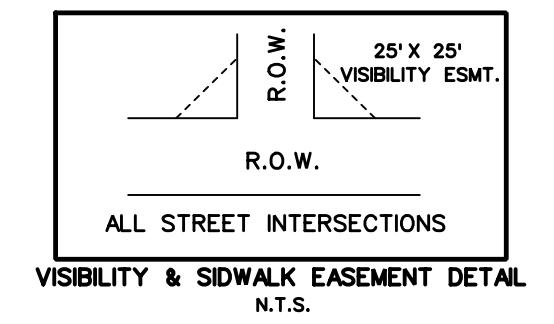
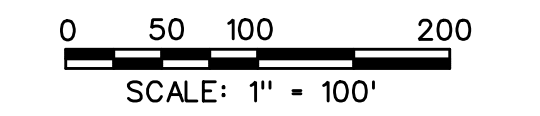
Reviewed for preliminary Approval:

Planning & Zoning Commission Chairman _____ Date _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____



Block A		Block B		Block C		Block D		Block E	
Lot	SF	Lot	SF	Lot	SF	Lot	SF	Lot	SF
1*	68296	1*	250559	1*	140384	1	16161	1	16745
2	16177	2	16091	2	16156	2	16258	2	16000
3	16109	3	16045	3	16030	3	17265	3	16000
4	16028	4	16024	4	17177	4	16555	4	16000
5	16247	5	16024	5	16003	5	16562	5	16000
6	16209	6	16012	6	16061	6	16589	6	16000
7	16106	7	16078	7	16053	7	17478	7	16000
8	16010	8	16038	8	16084	8	17400	8	16151
9	17297	9	16227	9	16000	9	17400		
		10	16047	10	16000	10	16093		
		11	16000	11	16000	11	16093		
		12	16000	12	16000	12	16161		
		13	16172	13	16000				
		14	16001	14	16000				
		15	16037						
		16	16002						
		17*	511						

* denotes open space

LEGEND

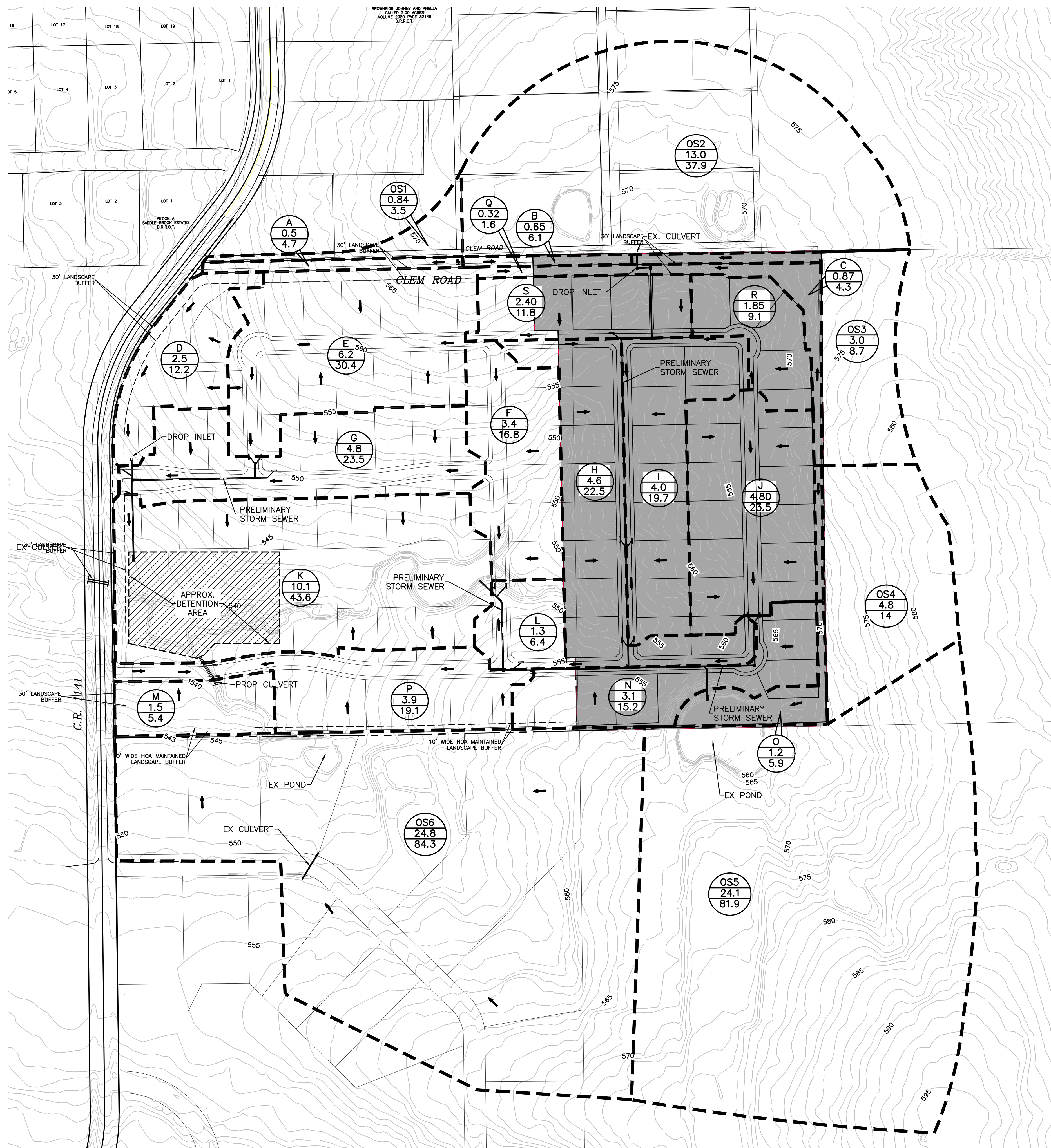
B.L. - BUILDING LINE
 D.E. - DRAINAGE EASEMENT
 U.E. - UTILITY EASEMENT
 R.O.W. - RIGHT OF WAY
 H.O.A. - HOMEOWNERS ASSOCIATION

LOCATION MAP
 N.T.S.

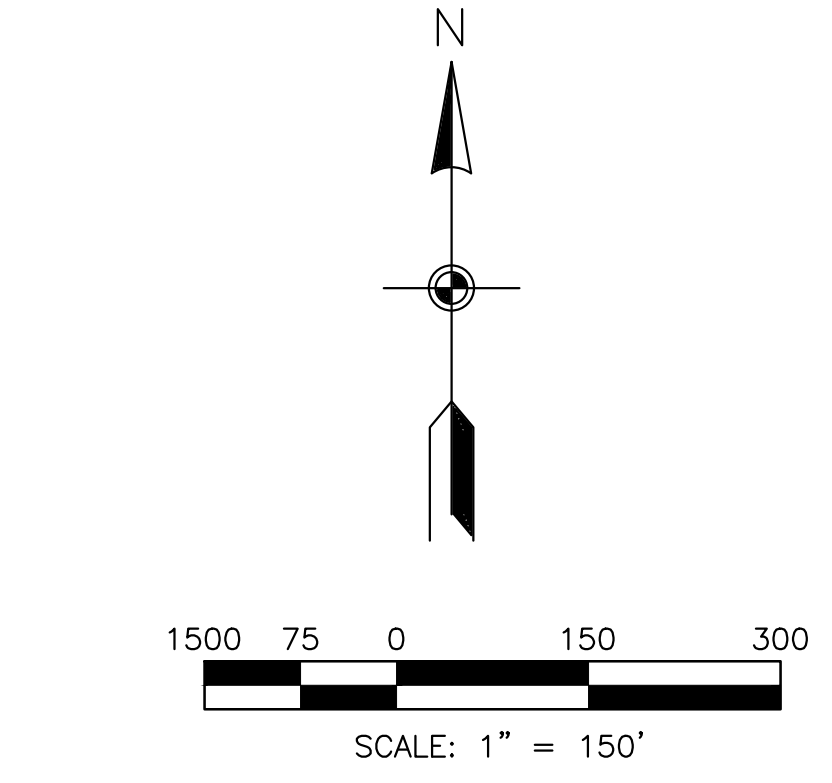
TOTAL ACRES 38.026
 TOTAL RESIDENTIAL LOTS 56
 DENSITY 1.473
 EX. ZONING PD-91
 LAND USE SINGLE FAMILY DEVELOPMENT

PRELIMINARY PLAT
 OF
WINDING CREEK
 LOTS 1-11, BLOCK A
 LOTS 1-16, BLOCK B
 LOTS 1-14, BLOCK C
 LOTS 1-12, BLOCK D
 LOTS 1-8, BLOCK E
 TOTAL ACRES 38.026
 TOTAL RESIDENTIAL LOTS 56
 TOTAL OPEN SPACE LOTS 3
 OUT OF THE
 J.M. GLASS SURVEY, ABSTRACT NO. 88
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNERS
 REDDY K. VASUNDHARA &
 ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080
 M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087
 MAY 2021 SCALE 1" = 100'

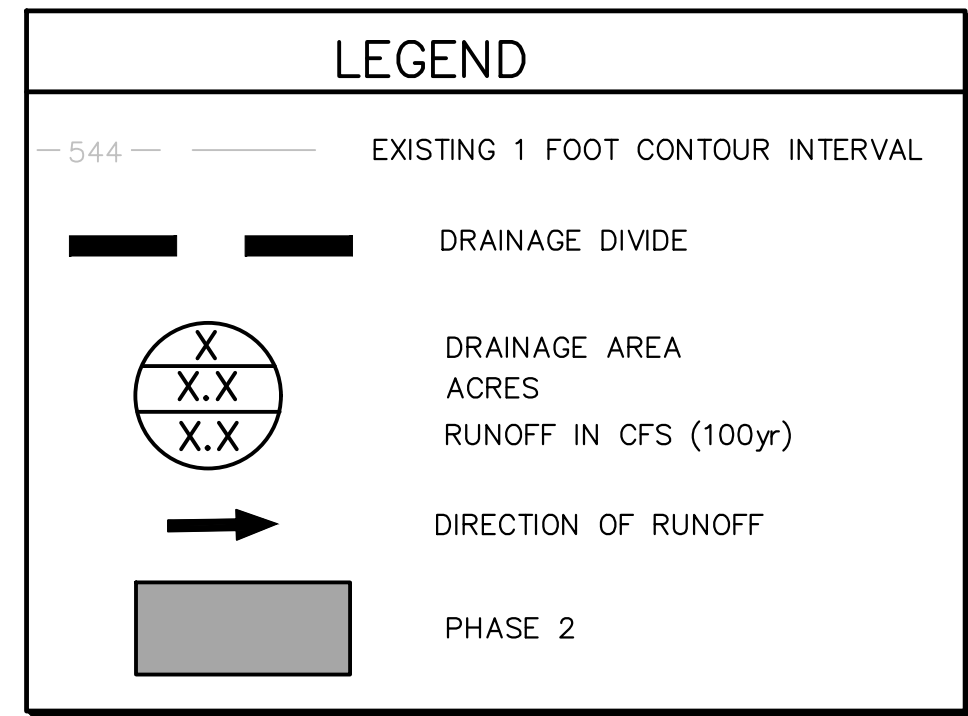
APPLICANT
SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE., SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945



PROPOSED RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
A	0.50	10	0.95	9.8	4.7
B	0.65	10	0.95	9.8	6.1
C	0.87	10	0.5	9.8	4.3
D	2.50	10	0.5	9.8	12.3
E	6.20	10	0.5	9.8	30.4
F	3.40	10	0.5	9.8	16.7
G	4.80	10	0.5	9.8	23.5
H	4.60	10	0.5	9.8	22.5
I	4.00	10	0.5	9.8	19.6
J	4.80	10	0.5	9.8	23.5
K	10.10	10	0.44	9.8	43.6
L	1.30	10	0.5	9.8	6.4
M	1.50	10	0.37	9.8	5.4
N	3.10	10	0.5	9.8	15.2
O	1.20	10	0.5	9.8	5.9
P	3.90	10	0.5	9.8	19.1
Q	0.32	10	0.5	9.8	1.6
R	1.85	10	0.5	9.8	9.1
S	2.40	10	0.5	9.8	11.8
OS1	0.84	20	0.5	8.33	3.5
OS2	13.00	20	0.5	8.33	54.1
OS3	3.00	20	0.35	8.33	8.7
OS4	4.80	20	0.35	8.33	14.0
OS5	24.10	31	0.5	6.8	81.9
OS6	24.80	32	0.5	6.8	84.3



PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



WEIGHTED "C" CALCULATION FOR AREA K

$$C = \frac{(5.2Ac \times 0.5) + (4.8 \times 0.35) + (0.14 \times 0.95)}{10.14} = 0.44$$

WEIGHTED "C" CALCULATION FOR AREA M

$$C = \frac{(0.17Ac \times 0.5) + (1.03Ac \times 0.35)}{1.2} = 0.37$$

USE	"C"
HOMES	0.5
OPEN SPACE	0.35
SIDEWALK / PARKING	0.95

PRELIMINARY FOR REVIEW ONLY
DAYTON C. MACATEE, P.E., 65028

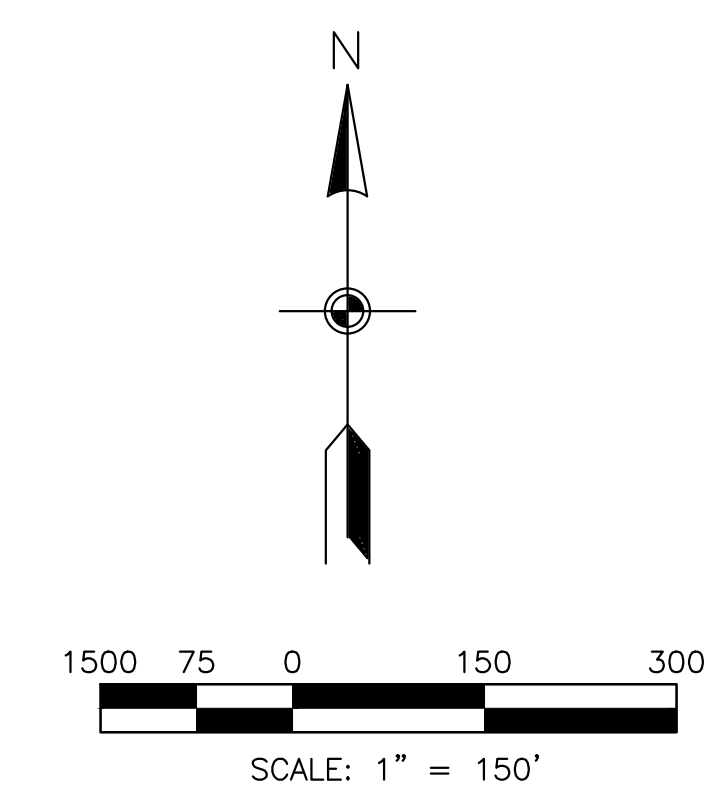
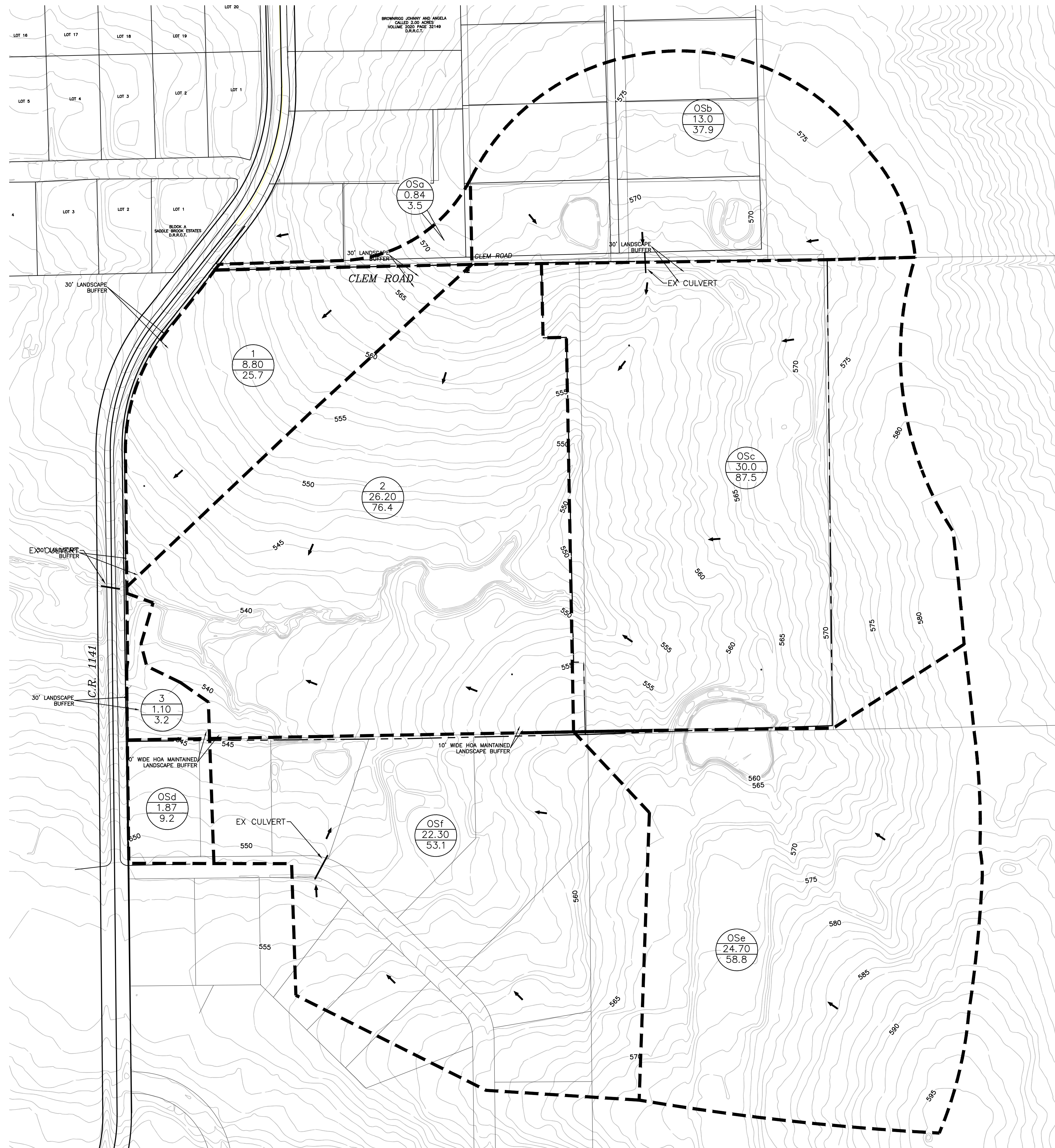
CONCEPTUAL DRAINAGE AREA MAP -- POST DEVELOPMENT

WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CIVIL ENGINEERING DESIGN & CONSULTING
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com

DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		05/28/2021			5 OF 5



EXISTING RUNOFF CALCULATIONS

AREA	ACRES	Tc (min)	C	I100	Q100
1	8.80	20	0.35	8.33	25.7
2	26.20	20	0.35	8.33	76.4
3	1.10	20	0.35	8.33	3.2
Osa	0.84	20	0.5	8.33	3.5
Osb	13.00	20	0.5	8.33	54.1
Osc	30.00	20	0.35	8.33	87.5
Osd	1.87	10	0.5	9.8	9.2
Ose	24.70	31	0.35	6.8	58.8
Osf	22.30	32	0.35	6.8	53.1

LEGEND


- EXISTING 1 FOOT CONTOUR INTERVAL
- DRAINAGE DIVIDE
- DRAINAGE AREA
ACRES
RUNOFF IN CFS (100yr)
- DIRECTION OF RUNOFF

PRELIMINARY
FOR REVIEW ONLY
DAYTON C. MACATEE, P.E., 65028

CONCEPTUAL DRAINAGE AREA MAP -- PRE DEVELOPMENT

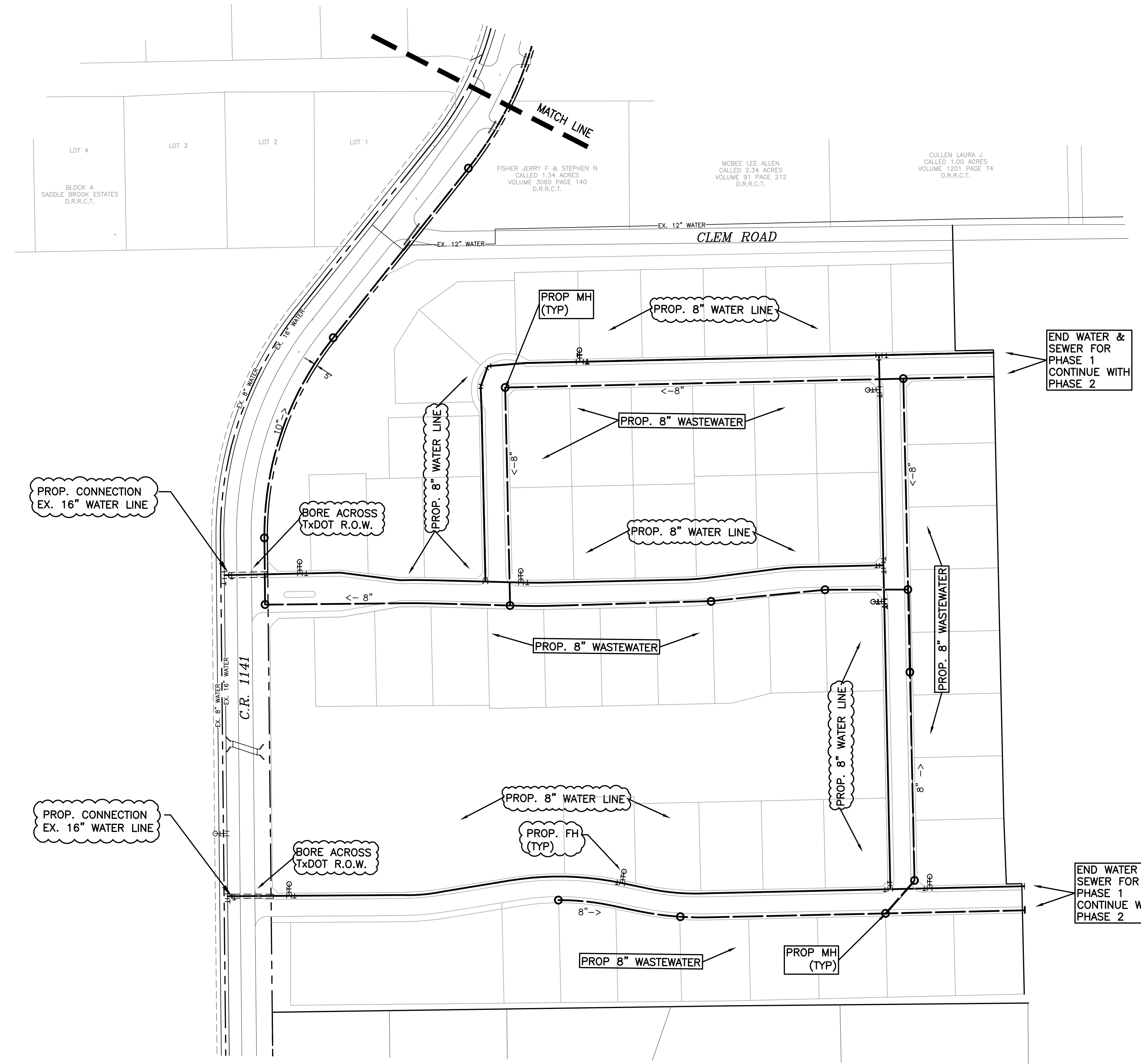
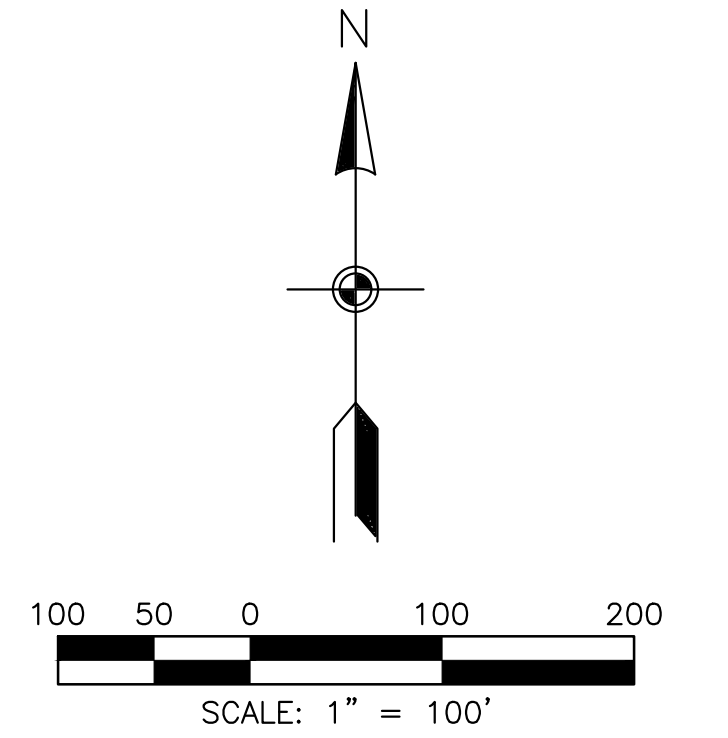
WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



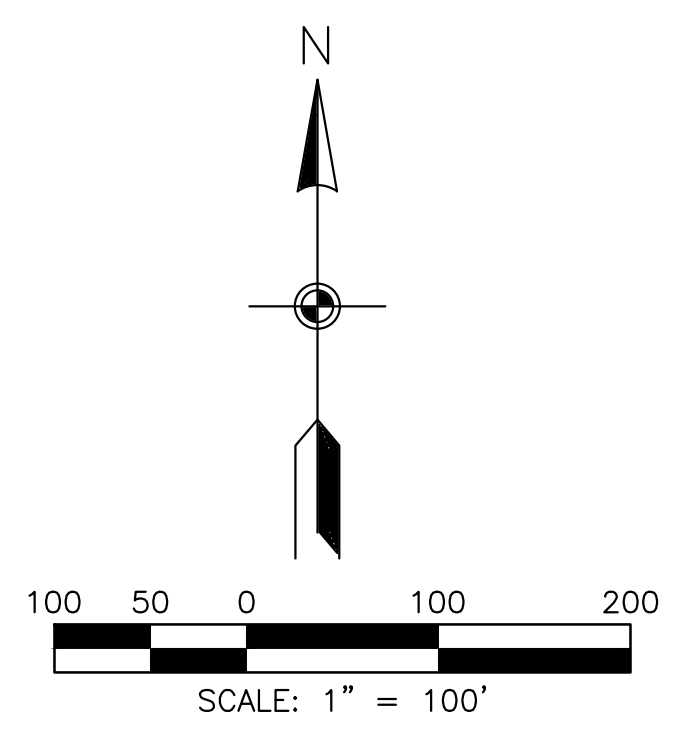
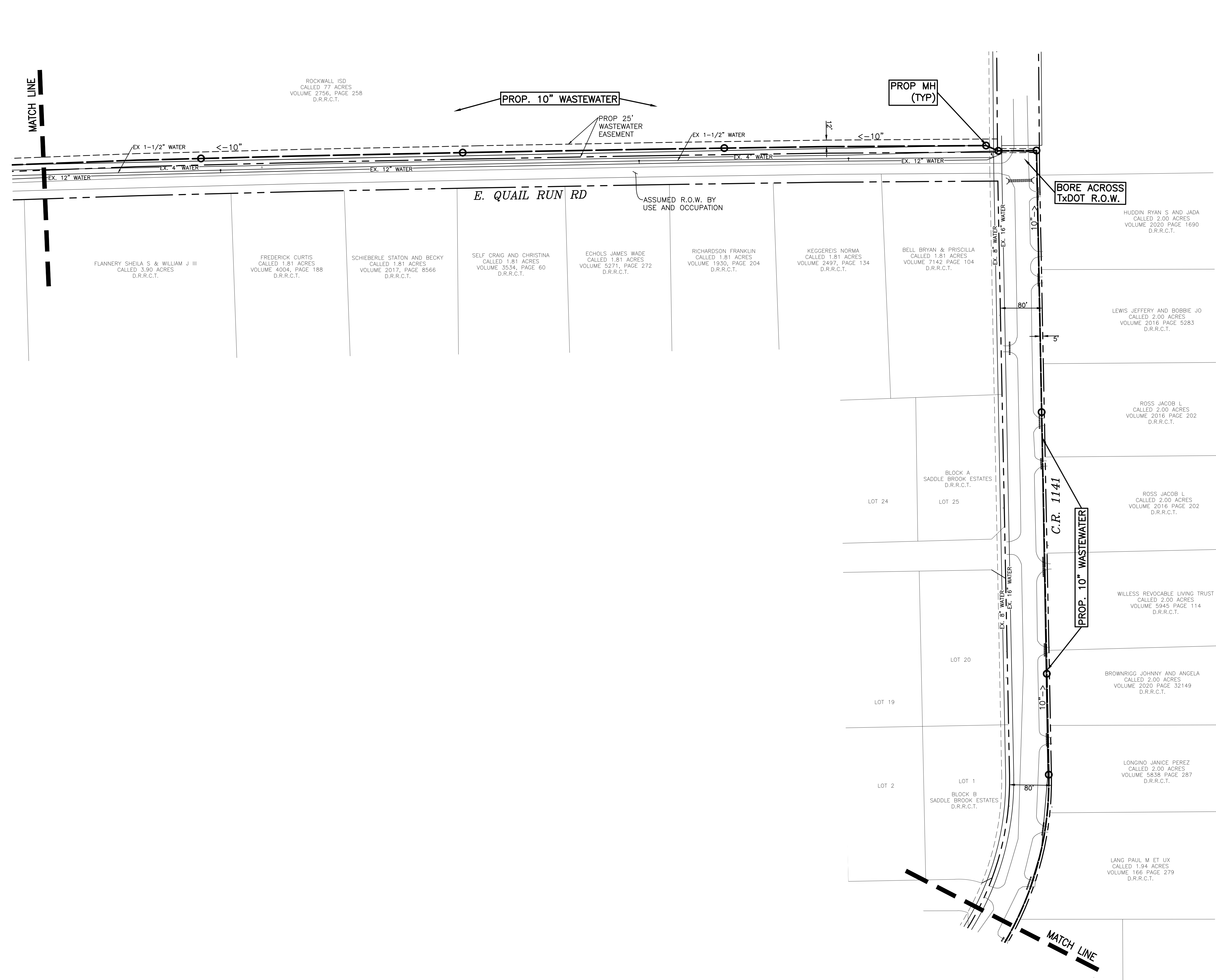
**CIVIL ENGINEERING
DESIGN & CONSULTING**
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com

DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		05/28/2021			4 OF 5




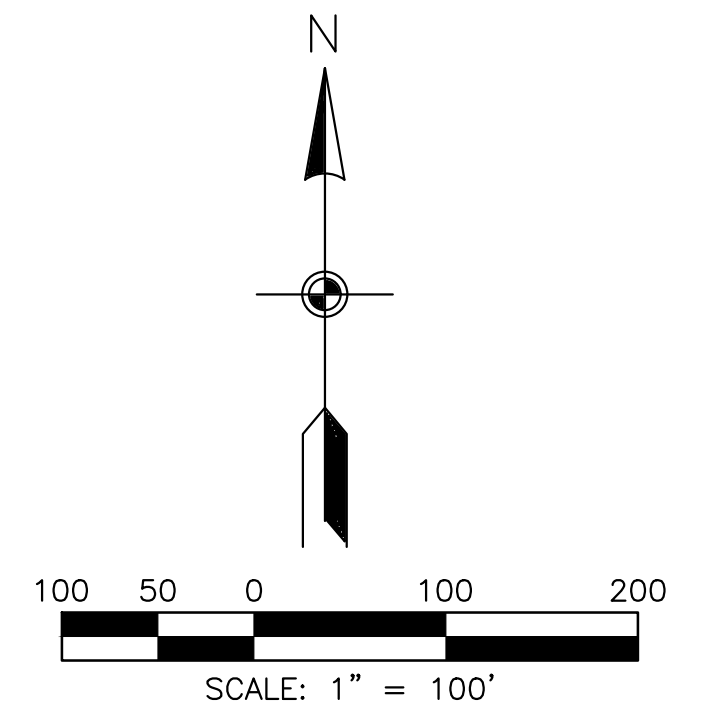
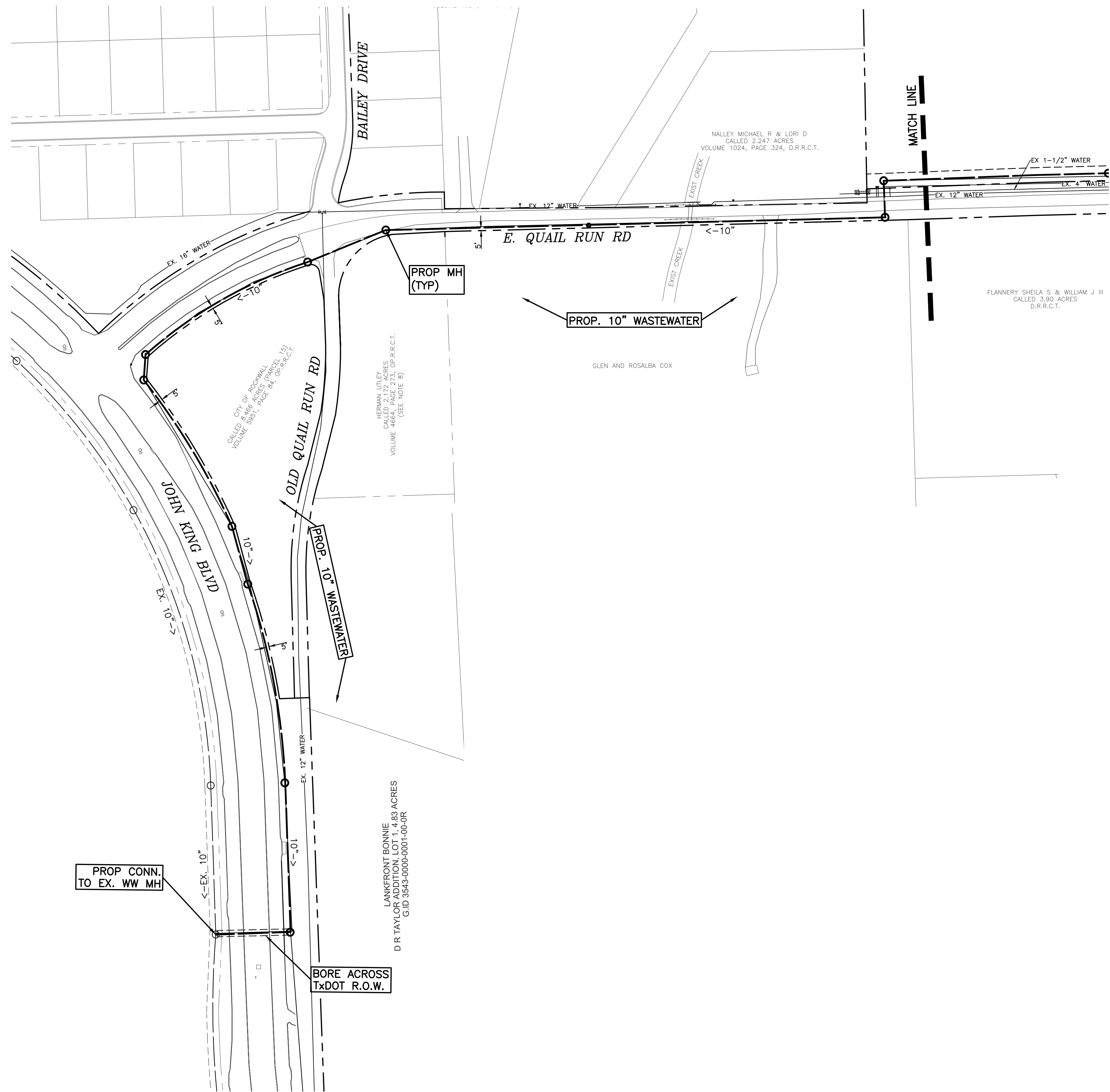
PRELIMINARY
FOR REVIEW ONLY
DAYTON C. MACATEE, P.E., 65028

CONCEPTUAL WATER & WASTEWATER PLAN				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
		DESIGNED	CHECKED	DATE
		05/28/2021		PROJECT #
				SHEET NO.
				1 OF 5




PRELIMINARY
FOR REVIEW ONLY
DAYTON C. MACATEE, P.E., 65028

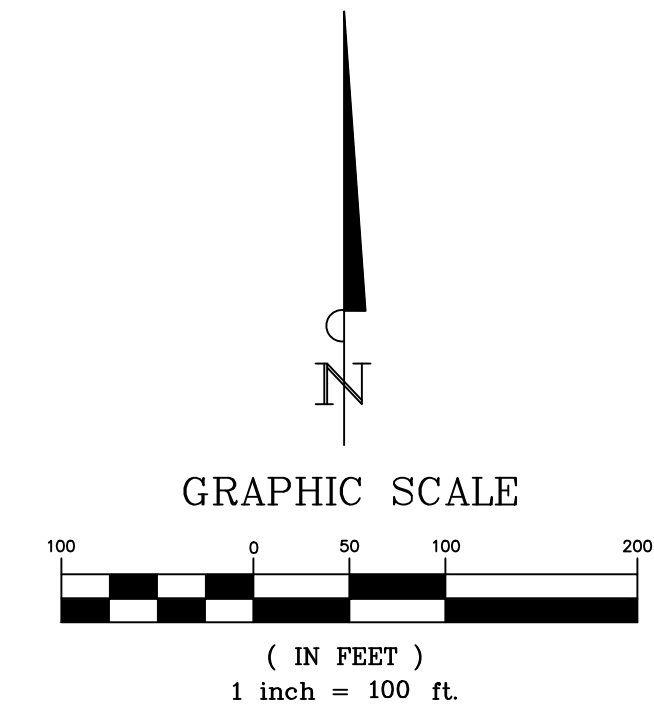
CONCEPTUAL WATER & WASTEWATER PLAN					
WINDING CREEK					
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS					
			CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456)</small> 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		05/28/2021			2 OF 5



PRELIMINARY
 FOR REVIEW ONLY
 DAYTON C. MACATEE, P.E., 65028

CONCEPTUAL WATER & WASTEWATER PLAN				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com</small>		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		05/28/2021		
				SHEET NO.
				3 OF 5

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg | Date Plotted: 6/1/2021 9:11 AM | Plotted By: mwilson



- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS
 TREESCAPE PLAN

No.	Date	Revision	Description



PROJECT NO.: TEMPLATE

SHEET NUMBER
L-1.0

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
1	32.0	sugarberry	20	Yes	Damaged	PRESERVED	-	-	-	-	-	
2	17.0	sugarberry	18	No	Healthy	PRESERVED	-	-	-	-	-	
53	26.6	eastern red cedar	20	Yes	Healthy	REMOVED	53.2	-	-	-	-	
55	26.5	eastern red cedar	20	Yes	Healthy	REMOVED	53.0	-	-	-	-	
56	20.4	eastern red cedar	20	Yes	Healthy	REMOVED	-	-	10.2	-	-	
57	11.9	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-	
58	11.6	eastern red cedar	11	No	Healthy	REMOVED	-	-	5.8	-	-	
59	11.0	eastern red cedar	10	No	Healthy	REMOVED	-	-	5.5	-	-	
60	12.2	eastern red cedar	12	No	Healthy	REMOVED	-	-	6.1	-	-	
500	9.4	Scotch pine	7	No	Healthy	REMOVED	-	9.4	-	-	-	
501	6.9	Scotch pine	5	No	Healthy	REMOVED	-	6.9	-	-	-	
502	16.0	silver maple	16	No	Healthy	REMOVED	-	16.0	-	-	-	
503	15.1	Scotch pine	13	No	Healthy	REMOVED	-	15.1	-	-	-	
504	11.2	Scotch pine	6	No	Healthy	REMOVED	-	11.2	-	-	-	
505	6.0	Scotch pine	4	No	Healthy	REMOVED	-	6.0	-	-	-	
506	8.9	Scotch pine	7	No	Healthy	PRESERVED	-	-	-	-	-	
507	11.6	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-	
508	15.1	Scotch pine	11	No	Healthy	REMOVED	-	15.1	-	-	-	
509	11.9	Scotch pine	11	No	Healthy	REMOVED	-	11.9	-	-	-	
510	27.1	Bradford pear	21	Yes	Healthy	REMOVED	54.2	-	-	-	-	
511	6.0	bald cypress	6	No	Healthy	REMOVED	-	6.0	-	-	-	
512	10.5	Scotch pine	7	No	Healthy	REMOVED	-	10.5	-	-	-	
513	17.6	live oak	18	No	Healthy	REMOVED	-	17.6	-	-	-	
514	20.3	live oak	22	No	Healthy	REMOVED	-	20.3	-	-	-	
515	6.6	Shumard's oak	7	No	Damaged	REMOVED	-	-	-	-	-	
516	15.6	live oak	14	Yes	Damaged	REMOVED	-	-	-	-	-	
517	30.2	Bradford pear	25	Yes	Healthy	REMOVED	60.4	-	-	-	-	
518	14.7	Shumard's oak	17	No	Healthy	REMOVED	-	14.7	-	-	-	
519	11.8	cottonwood	7	No	Damaged	REMOVED	-	-	-	-	-	
520	15.8	eastern red cedar	10	No	Healthy	PRESERVED	-	-	-	-	-	
521	13.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
522	13.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
523	14.3	sugarberry	15	No	Damaged	PRESERVED	-	-	-	-	-	
524	13.6	sugarberry	16	No	Healthy	PRESERVED	-	-	-	-	-	
							220.8	160.7	33.5	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
525	11.8	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
526	11.2	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-	
527	12.9	sugarberry	18	No	Healthy	PRESERVED	-	-	-	-	-	
528	12.5	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
529	12.5	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
530	11.2	sugarberry	13	No	Healthy	PRESERVED	-	-	-	-	-	
531	12.5	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
532	17.2	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-	
533	21.7	sugarberry	27	No	Damaged	PRESERVED	-	-	-	-	-	
534	11.0	sugarberry	16	No	Healthy	PRESERVED	-	-	-	-	-	
535	22.3	sugarberry	24	No	Damaged	REMOVED	-	-	-	-	-	
536	15.1	sugarberry	16	Yes	Damaged	REMOVED	-	-	-	-	-	
537	13.5	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
538	11.7	sugarberry	13	No	Healthy	REMOVED	-	-	5.8	-	-	
539	11.0	sugarberry	13	No	Damaged	PRESERVED	-	-	-	-	-	
540	11.2	sugarberry	13	No	Damaged	PRESERVED	-	-	-	-	-	
541	16.8	sugarberry	15	No	Damaged	PRESERVED	-	-	-	-	-	
542	22.8	sugarberry	23	No	Healthy	PRESERVED	-	-	-	-	-	
543	11.0	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
544	11.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
545	11.5	eastern red cedar	15	No	Damaged	PRESERVED	-	-	-	-	-	
546	12.3	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
547	24.2	black w flow	26	Yes	Healthy	REMOVED	-	-	-	N/A	-	
548	13.5	black w flow	10	No	Healthy	REMOVED	-	-	-	N/A	-	
549	5.7	Hercules-club	6	Yes	Healthy	REMOVED	-	-	-	N/A	-	
550	6.5	gum bumelia	6	Yes	Healthy	REMOVED	-	6.5	-	-	-	
551	8.0	gum bumelia	6	Yes	Healthy	REMOVED	-	8.0	-	-	-	
552	4.2	common persimmo	5	No	Healthy	REMOVED	-	4.2	-	-	-	
553	12.4	sugarberry	13	No	Damaged	PRESERVED	-	-	-	-	-	
554	11.4	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-	
555	11.0	sugarberry	10	No	Damaged	PRESERVED	-	-	-	-	-	
556	11.1	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-	
557	15.7	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
							-	18.7	5.8	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

220.8	179.4	39.3	-	-	439.5
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	TOTAL

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUPON	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN REDCEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED



Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

TREESCAPE PLAN TABLES (1 OF 1)

No.	Date	Revision Description



SHEET NUMBER

L-1.1

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 15, 2021
APPLICANT: Jeff Carroll; *Carroll Architects, Inc.*
CASE NUMBER: SP2021-014; *Site Plan for 108 Saint Mary Street*

SUMMARY

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Chuck Vickers of T&C Main Street Holdings, LLC for the approval of an Amended Site Plan for an office building on a 0.50-acre parcel of land identified as Bock 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 108 St. Mary Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Block 80B, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. On April 2, 2018, the City Council approved to rezone [Case No. Z2018-007] the subject property from Single-Family (SF-7) District to Residential Office (RO) District. On February 12, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-002] to allow the conversion of the existing single-family home into a 1,182 SF office building.

PURPOSE

On May 14, 2021, the applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- submitted an application requesting approval of an amended site plan for the purpose of increasing the parking area and to accommodate the future expansion of the existing structure.

ADJACENT LAND USES AND ACCESS

The subject property is located at 108 Saint Mary Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Saint Mary Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a single-family home, which is identified as a *Landmarked Property (i.e. the Underwood House)*. Adjacent to the *Underwood House* is another single-family home, which is also identified as a *Landmarked Property (i.e. the Barnes House)*. Both properties are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property is a 2.153-acre parcel of land developed with a post-office and zoned General Retail (GR) District. Beyond this is E. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a residential housing development, which is zoned Planned Development District 30 (PD-30) for Two-Family (2F) District land uses.

East: Directly east of the subject property are seven (7) residential lots (*i.e. 202, 204, 206, 208, 210, 212, and 214 St. Marys Place*) developed with single-family homes and zoned Planned Development District 21 (PD-21) for single-family attached and single-family detached land uses. Beyond this is St. Mary's Place, which is identified as a R2

(i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is S. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This is followed by several single-family homes that are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is a 0.509-acre parcel of land zoned Residential Office (RO) District. Beyond this are two (2) parcels (i.e. 603 and 607 S. Goliad Street) of land zoned General Retail (GR) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. *principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 9.43-acre tract of land developed with a *House of Worship* (i.e. *First Baptist Church*) and zoned General Retail (GR) District and Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (i.e. *an office*) is allowed by-right in a Residential-Office (RO) District and will not require any additional approvals. The submitted site plan and landscape plan generally conform to the technical requirements contained within the UDC for a property located within a Residential-Office (RO) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	22,279 SF; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	84.9-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	262-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	x>25-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	30-Feet	x>30-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	x=10-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	40%	5.3%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/300 (4 Required)	x=15; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	30%	<i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	75-80%	56%; <i>In Conformance</i>

TREESCAPE PLAN

The landscape plan submitted by the applicant indicates that no protected trees are to be removed and therefore does not require a treescape plan.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 04.02, *Residential-Office (RO) District*, of Section 04, *Commercial Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), Residential-Office (RO) Districts "...recognize the existence of older residential areas where older homes can be converted into low-intensity office uses..." Additionally, the Residential-Office (RO) District "...provides low-intensity services such as offices, medical and professional services, and some limited retail businesses to residents in the adjacent neighborhoods..." Residential-Office (RO) Districts serve as a transition between high-intensity, non-residential uses or busy arterial roadways to lower intensity residential uses and should have access to major or secondary thoroughfares. With that being said, the applicant's request for approval of an amended site plan to expand the parking areas does not propose to make any changes to the existing office building, and remains consistent with the previously approved site plan [Case No. SP2019-002]. The proposed future expansion of the office building would require the applicant to submit an amended site plan prior to requesting a building permit, and this request does not vest the applicant with regard to that future expansion. Based on this, the applicant's request appears to be in conformance with the intent of the Residential-Office (RO) District. Given the residential adjacency -- *and the previously approved site plan* -- the applicant is required to plant canopy trees on 20-foot centers and mature shrubs along the east property line (*where applicable*) in conformance with the Unified Development Code (UDC) and the previously approved variance requests [*requested as part of Case No. SP2019-002*].

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan shows the subject property being located in the Downtown District and zoned for Residential Office (RO) District land uses. The Downtown District contains some of the City's oldest structures and maintains its small-town atmosphere by utilizing strategies such as live/work arrangements, historic preservation, and the adaptive reuse of existing buildings. Given the proximity of the subject property to S. Goliad Street [SH-205] and the surrounding Commercial/Retail land uses, the proposed amended site plan appears to be a natural transition from the high-intensity, non-residential land uses west of the subject property to the lower intensity land uses east of the subject property. Since the subject property is zoned for Residential Office (RO) District land uses, the existing structure can be utilized as a single-family home, an office, or both.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 108 SAINT MARY STREET
 Subdivision H. W. BOYSTON Addition, Vol. 3024 pg 225 Lot - Block -
 General Location SEC. GOLIAD & ST. MARY

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL / COMMERCIAL Current Use N/A
 Proposed Zoning SAME Proposed Use OFFICE
 Acreage 0.50 AC. Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner <u>T & C MAIN STREET HOLDING, LLC.</u>	<input checked="" type="checkbox"/> Applicant <u>CARROLL ARCHITECTS, INC</u>
Contact Person <u>CHUCK VICKERS</u>	Contact Person <u>JEFF CARROLL</u>
Address <u>2475 RIDGING CLUB RD</u>	Address <u>750 E. INTERSTATE 30 # 110</u>
City, State & Zip <u>ROCKWALL TX 75087</u>	City, State & Zip <u>ROCKWALL, TX</u>
Phone <u>214. 793. 9794</u>	Phone <u>214. 632. 1762</u>
E-Mail <u>CASENCHI@gmail.com</u>	E-Mail <u>JC@CARROLLARCH.COM</u>

NOTARY VERIFICATION [REQUIRED]

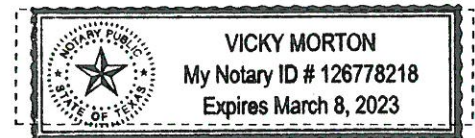
Before me, the undersigned authority, on this day personally appeared Jeff Carroll [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of May, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of May, 20 21

Owner's Signature

Notary Public in and for the State of Texas



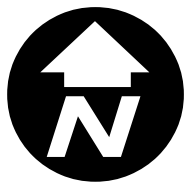
My Commission Expires



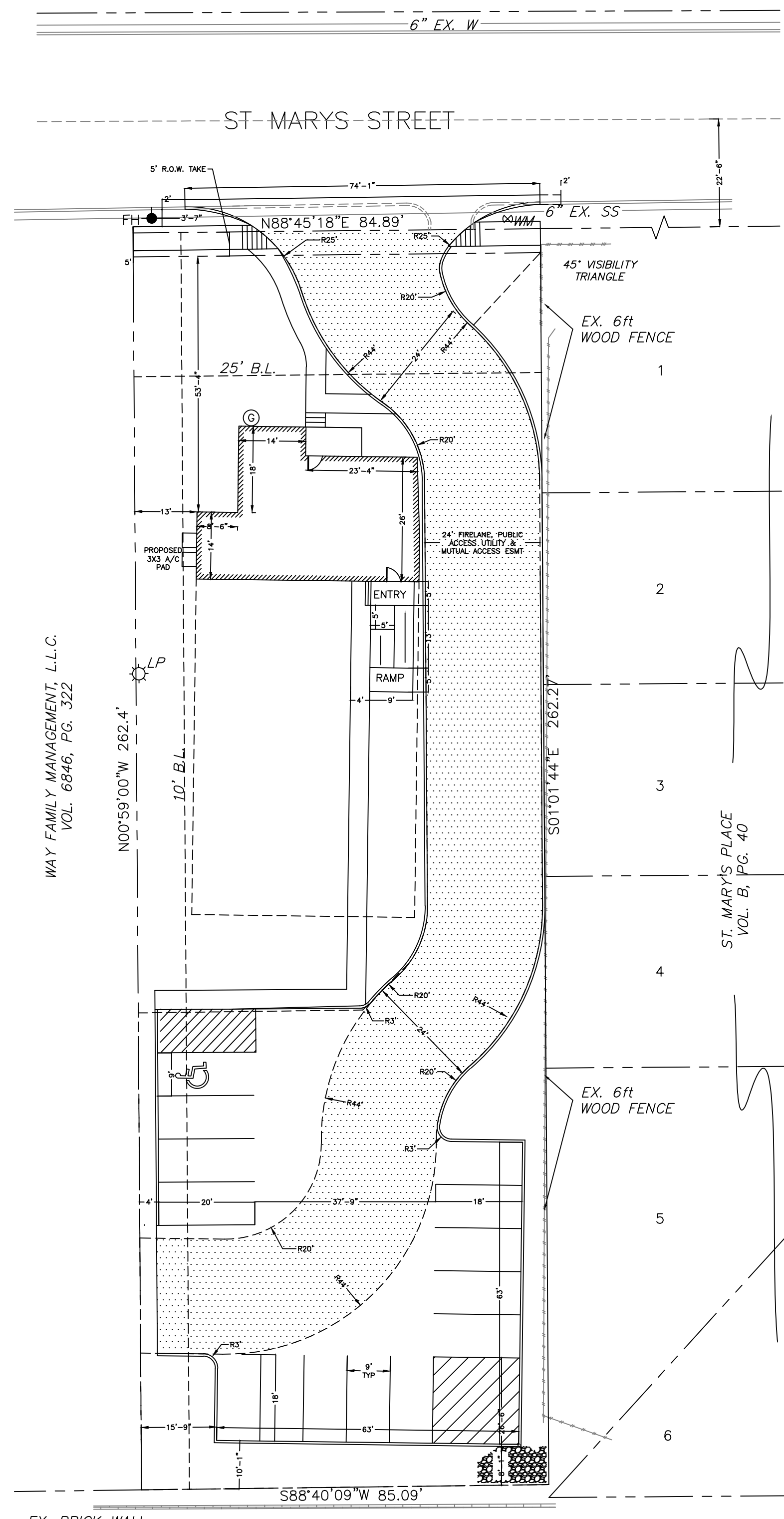
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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WAY FAMILY MANAGEMENT, L.L.C.
VOL. 6846, PG. 322

ST. MARYS PLACE
VOL. B, PG. 40

ROCKWALL MAIN POST OFFICE
BLOCK A, LOT 1
ACRES 2.153

SITE DATA TABLE		
SITE AREA	0.51 ACRES (22,279 SF)	
ZONING	RO - RESIDENTIAL OFFICE	
PROPOSED USE	PROFESSIONAL OFFICE	
EXISTING BUILDING AREA-TOTAL AREA:	1,423 SF	
PROPOSED BUILDING AREA-TOTAL AREA:	PHASE 1 1,221 SF	PHASE 2 2,976 SF
LOT COVERAGE	5.48%	18.85%
FLOOR TO AREA RATIO	0.0548 : 1	0.1885 : 1
BUILDING HEIGHT	15.5 ft. MAX	36 ft. MAX

PARKING TABLE		
PROPOSED PARKING-TOTAL PARKING:	PHASE 1 1:300 = 5 SPACES	PHASE 2 1:300 = 7 SPACES
PARKING REQUIRED	4 (1 ADA)	10
PARKING PROVIDED	14 (1 ADA)	

108 SAINT MARY STREET

LEGAL DESCRIPTION AND OR ADDRESS:
H.W. Boydston Addition
Rockwall, Texas
Volume 3024, Page 225 of
Deed Records of Rockwall County, Texas
0.51 Acres

OWNER Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087	APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com
-----------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------

CASE NUMBER
SP2021-014

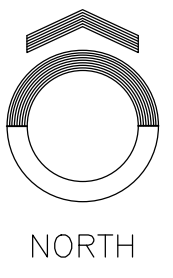
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2018.
WITNESS OUR HANDS, this _____ day of _____, 2018.

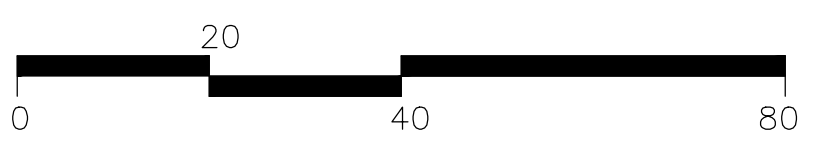
Planning & Zoning Commission, Chairman

Director of Planning & Zoning

NOTE:
1. NO DUMPSTER REQUIRED NOR PROPOSED.



1 SITE PLAN
SCALE: 1:20



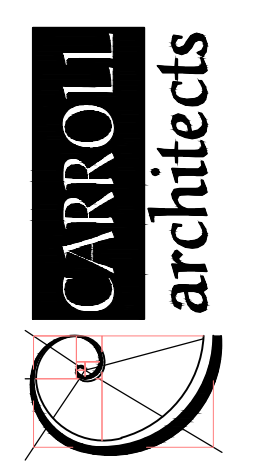
ISSUE:	OWNER REVIEW:
CITY SUBMITTAL	01-17-2018
REVISED SUBMITTAL	02-06-2019
REVISED	05-22-2020
REVISED	06-22-2020
REVISED	06-01-2021

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PROFESSIONAL OFFICES
108 Saint Mary Street
Rockwall, Texas 75087

VICKERS
CONSTRUCTION

Chuck Vickers
214.793.9794



750 E. Interstate 30
Suite 110
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t: 972-732-6085
f: 972-732-8058

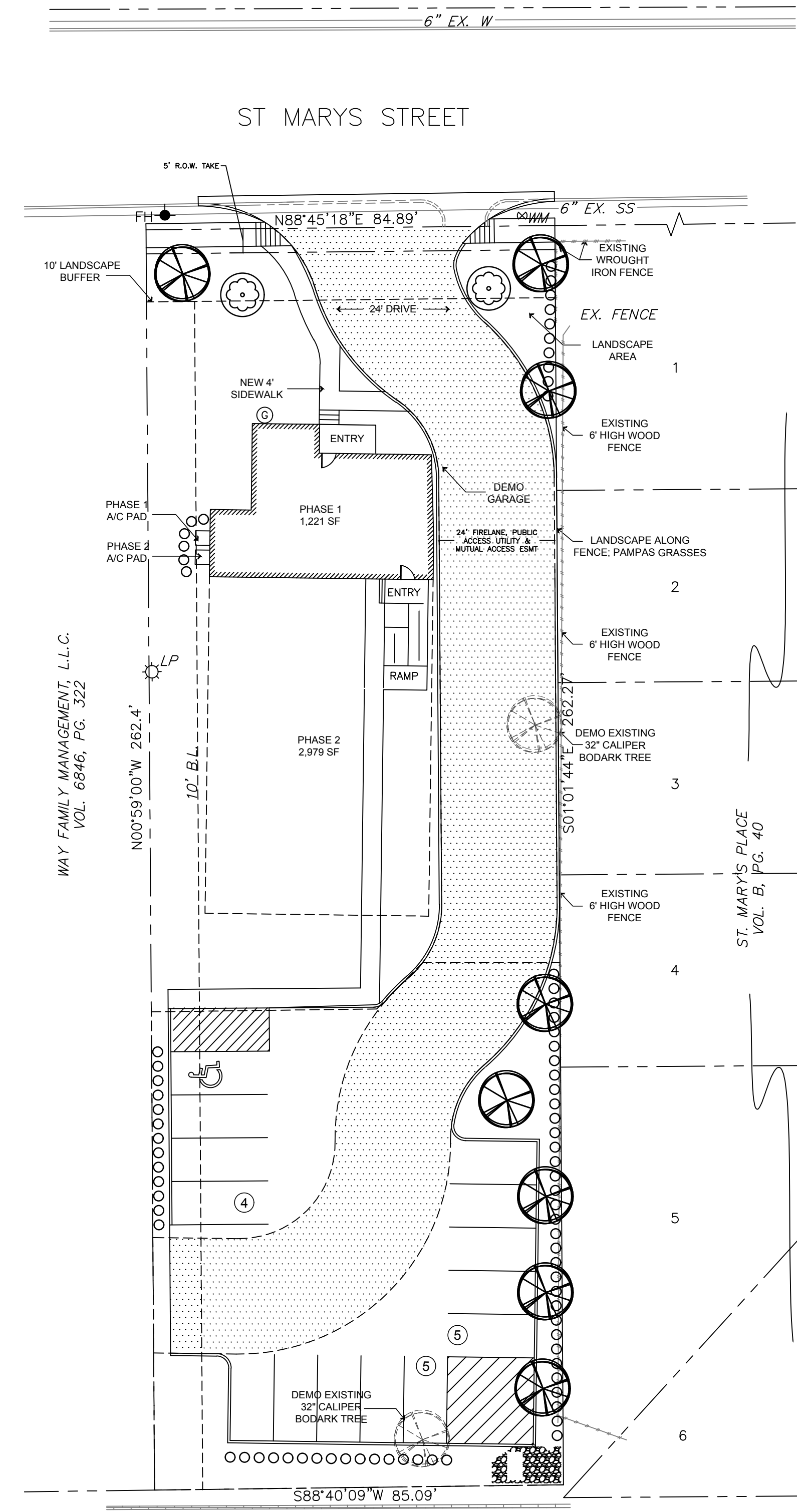
SITE PLAN

DATE: _____ SHEET NO: _____
JULY 2018
PROJECT NO: 2018009
DRAWN BY: _____
CHECKED BY: _____

A100

ISSUE:	OWNER REVIEW:
CITY SUBMITTAL	01-17-2018
REVISED SUBMITTAL	02-06-2019
REVISED	05-22-2020
REVISED	06-22-2020
REVISED	06-01-2021

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SITE DATA TABLE		
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PROPOSED USE	PROFESSIONAL OFFICE	
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PROPOSED PARKING-TOTAL PARKING:	PHASE 1 1:300 = 5 SPACES	PHASE 2 1:300 = 7 SPACES
PARKING REQUIRED	4 (1 ADA)	10
PARKING PROVIDED	14 (1 ADA)	

- NOTE:**
1. Photometric plan N/A. There will be no site pole lighting on this project.
 2. This property will not be subdivided.
 3. Irrigation will meet the requirements of the Unified Development Code.

LANDSCAPE TABULATION			
PHASE 1			
Gross Area	(0.51 acres)	=	22,279 S.F.
Required Landscape Area	- 10% of 22,279 S.F.	=	2,228 S.F.
Provided Landscape Area	- 39% of 22,279 S.F.	=	8,762 S.F.
PHASE 2			
Gross Area	(0.51 acres)	=	22,279 S.F.
Required Landscape Area	- 10% of 22,279 S.F.	=	2,228 S.F.
Provided Landscape Area	- 27% of 22,279 S.F.	=	6,114 S.F.

DESCRIPTION OF NEW LANDSCAPE AREA MATERIAL	QTY
⊗ Frontage 60 LF (NIC DRIVES) = 2 trees - Live Oak, 4" caliper (canopy)	2
⊗ Parking 1 tree per 80' radius - 1 tree - Live Oak 4" caliper	1
⊗ East Property line - 6 trees (canopy)	6
⊗ Frontage Crape Myrtle (Ornamental Trees) - (2)	2
Total	11
○ Shrubs for headlight screening, 5 Gal. at planting.	

108 SAINT MARY STREET
 LEGAL DESCRIPTION AND/OR ADDRESS:
 H.W. Boydston Addition
 Rockwall, Texas
 Volume 3024, Page 225 of
 Deed Records of Rockwall County, Texas
 0.51 Acres

OWNER
 Chuck Vickers
 2475 Riding Club Rd.
 Rockwall, TX 75087

APPLICANT
 Carroll Architects, INC.
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 P: 972-732-6085
 E: jc@carrollarch.com

CASE NUMBER
 SP2021-014

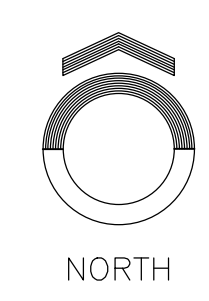
SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 20____.
 WITNESS OUR HANDS, this _____ day of _____, 20____.

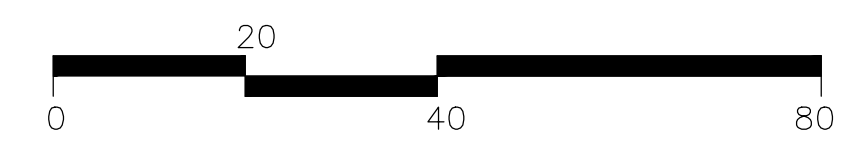
 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

NOTE:
 1. NO DUMPSTER REQUIRED NOR PROPOSED.



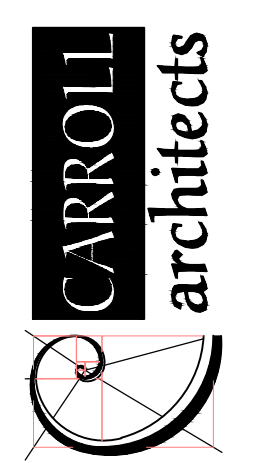
1 SITE PLAN
 SCALE: 1:20



INTERIOR REMODEL FOR
PROFESSIONAL OFFICES
 108 Saint Mary Street
 Rockwall, Texas 75087

VICKERS
 CONSTRUCTION

Chuck Vickers
 214.793.9794

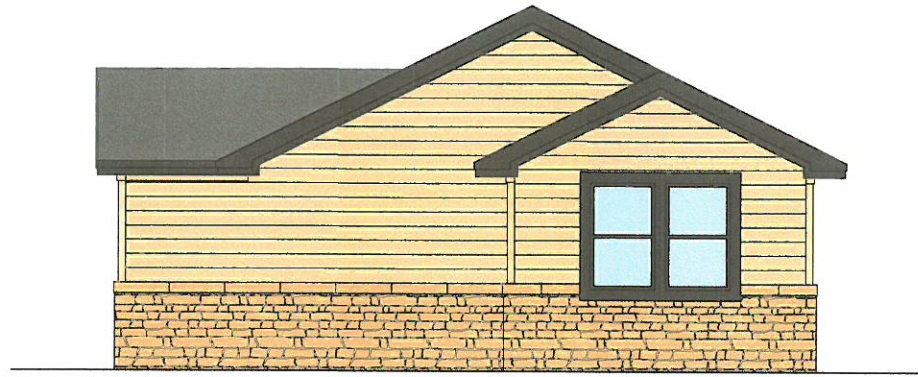


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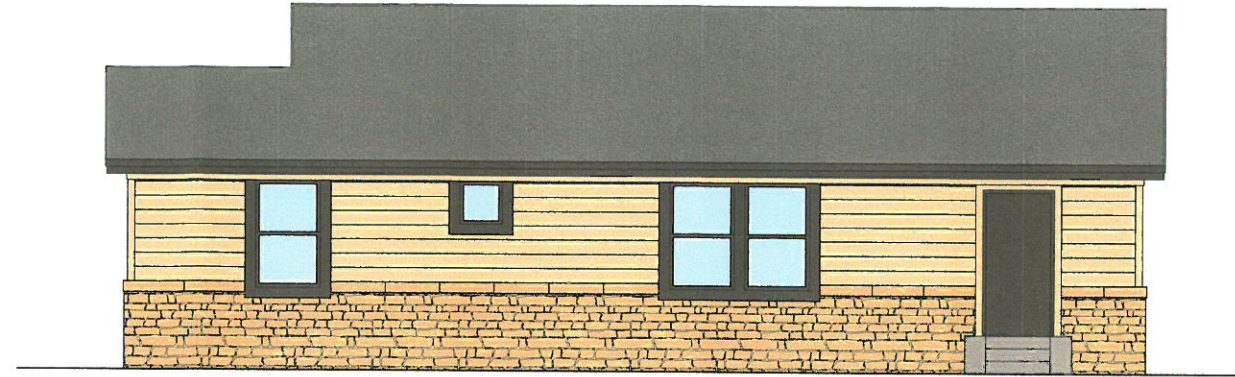
LANDSCAPE PLAN

DATE: _____ SHEET NO.: _____
 JULY 2018
 PROJECT NO.: 2018009
 DRAWN BY: _____
 CHECKED BY: _____

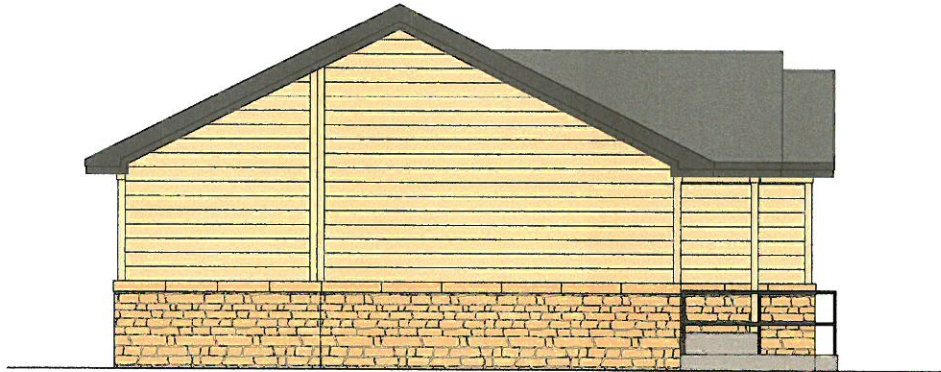
LP1



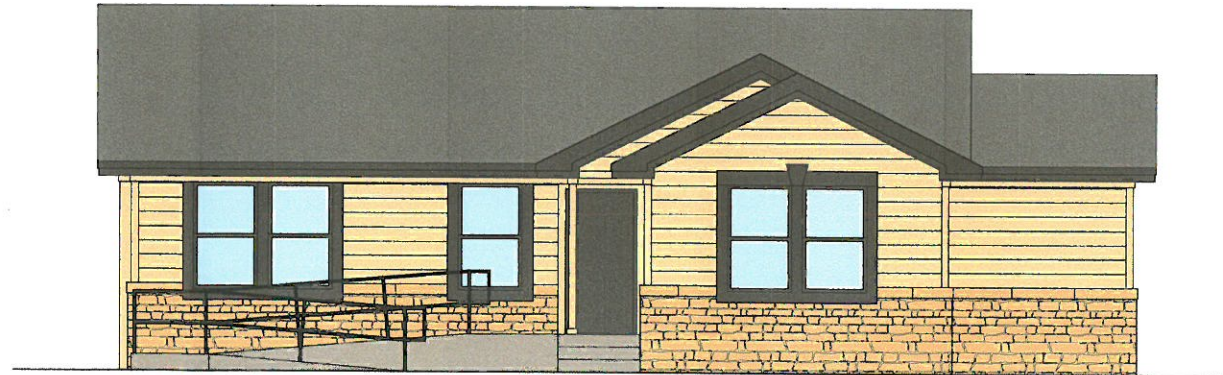
4 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 BACK ELEVATION
SCALE: 1/4"=1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

ISSUE: OWNER REVIEW 7-13-2018

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ELEVATIONS

DATE: JULY 2018 SHEET NO:
PROJECT NO: 2018009
DRAWN BY: A501
CHECKED BY:

SP2021-014

OWNER REVIEW: 01-17-2018

ISSUE:	DATE:

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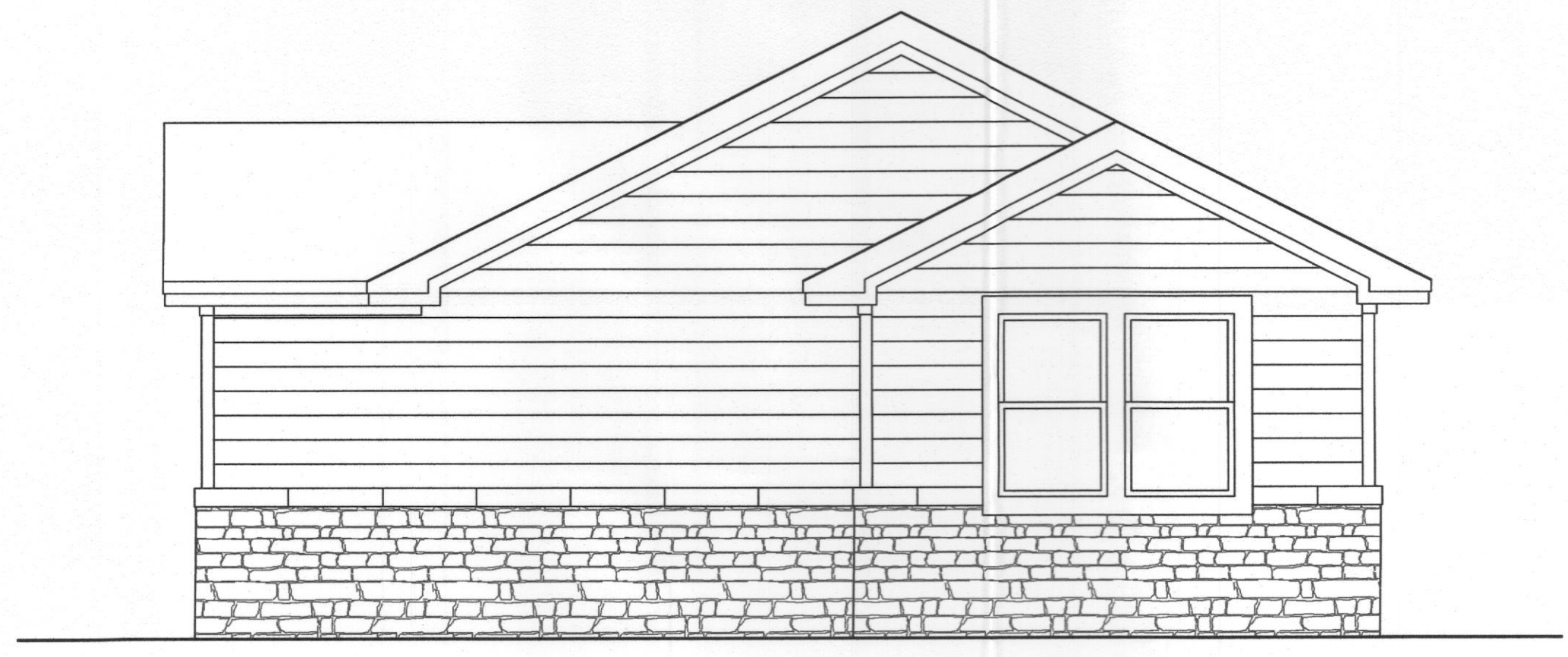
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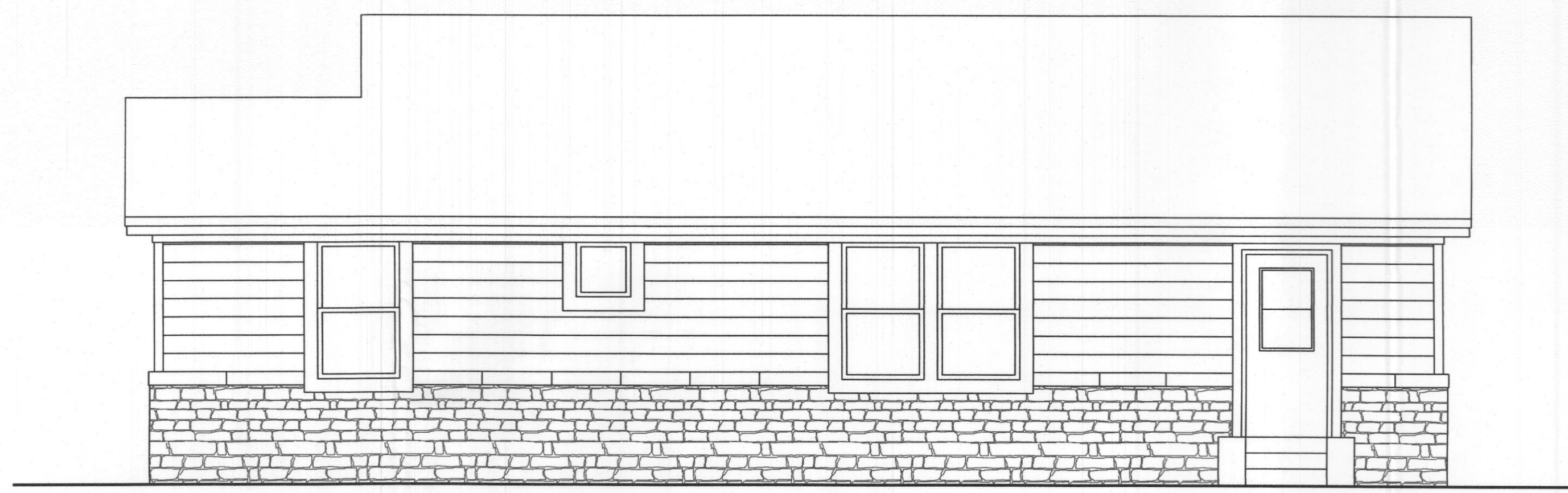
CARROLL
architects
 750 E. Interstate 30
 Suite 110, Rockwall, TX 75087
 Ph: 972-732-6085
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ELEVATIONS

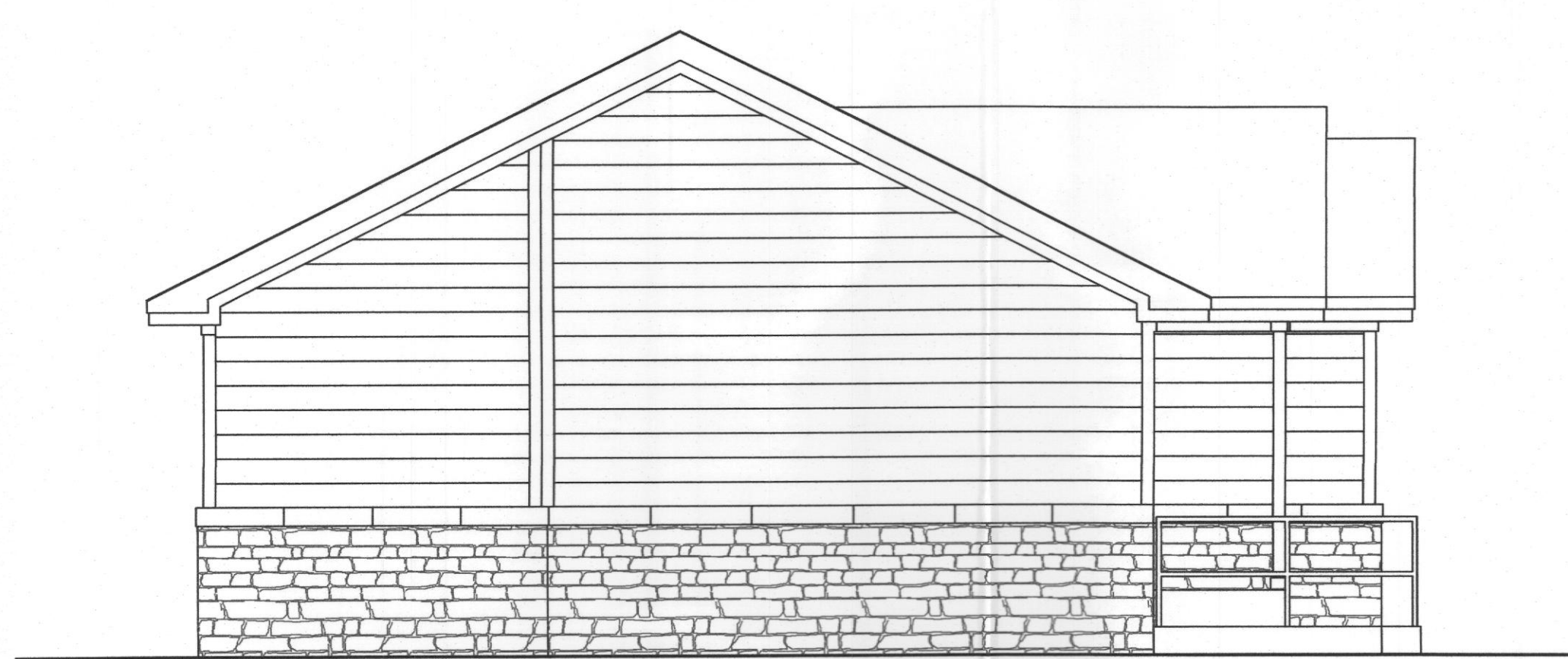
DATE: JULY 2018 SHEET NO:
 PROJECT NO: 2018009
 DRAWN BY:
 CHECKED BY:
A501



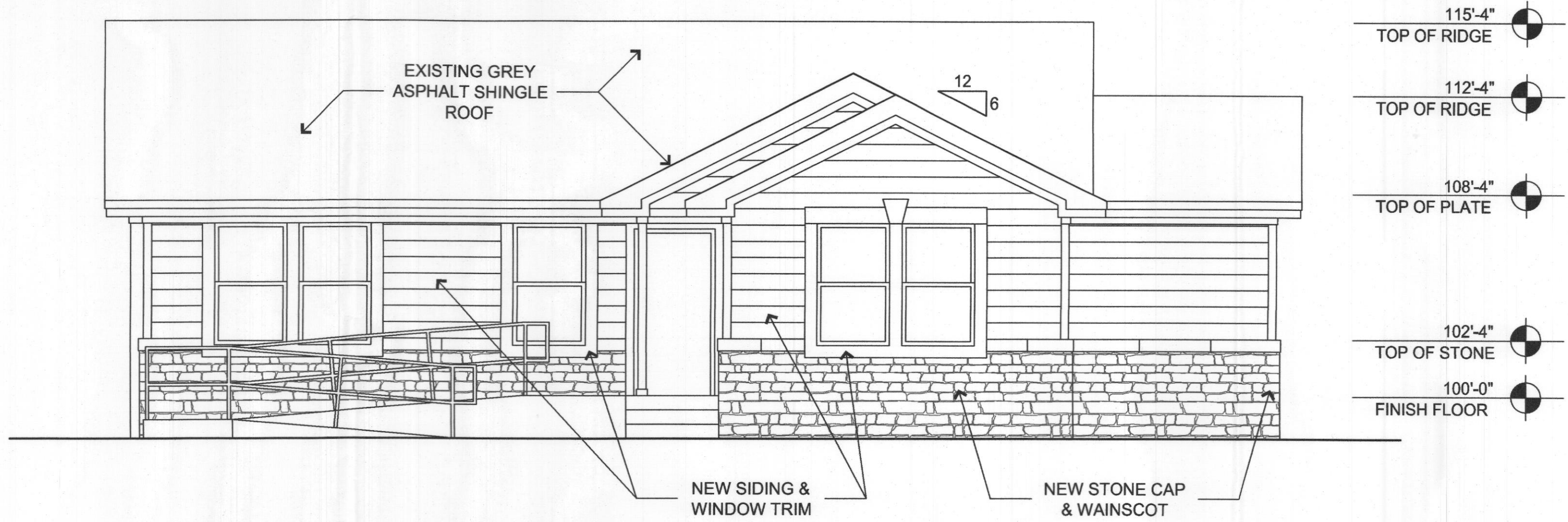
4 **RIGHT SIDE ELEVATION**
 SCALE: 1/4"=1'-0"



3 **BACK ELEVATION**
 SCALE: 1/4"=1'-0"



2 **LEFT SIDE ELEVATION**
 SCALE: 1/4"=1'-0"



1 **FRONT ELEVATION**
 SCALE: 1/4"=1'-0"

- NOTE:**
1. New siding applied to all 4 elevations.
 2. New stone cap / wainscot applied to all 4 elevations.
 3. New insulated windows applied to all 4 elevations.

108 Saint Marys Street	
<small>LEGAL DESCRIPTION AND/OR ADDRESS:</small>	
H.W. Boydston Addition Rockwall, Texas Volume 3024, Page 225 of Deed Records of Rockwall County, Texas 0.51 Acres	
Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087	<small>OWNER</small>
Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	<small>APPLICANT</small>
<small>CASE NUMBER</small> SP2019-002	



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 15, 2021
APPLICANT: Kevin Harrell; *Skorburg Company*
CASE NUMBER: Z2021-014; *Zoning Change (AG to PD) for the Klutts Farm*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

BACKGROUND

A 103.142-acre portion of the subject property was annexed on June 15, 1998 by *Ordinance No. 98-20*. The remainder of the subject property was annexed on October 4, 2010 by *Ordinance No. 10-27*. At the time of annexation both of these portions of the subject property were zoned Agricultural (AG) District. Currently situated on the subject property is an old farmhouse, which is 1,860 SF in size and was constructed in 1889 by William Lawson Lawhorn (*known as the Lawhorn Farm House*). In addition, -- based on current aerial images -- there appears to be two (2) agricultural accessory buildings (*of an undetermined size*) on the property. No additional changes or improvements have been made to the subject property since its annexation, and the property has remained zoned Agricultural (AG) District.



FIGURE 1: LAWHORN FARM HOUSE.

On March 19, 2021, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses. Specifically, the applicant was proposing to entitle the subject property for a 526-lot single-family, residential subdivision that would incorporate four (4) lot types (*i.e. 62' x 120', 72' x 120', 82' x 120', and 100' x 120'*). More specifically, the development proposed incorporating 408, 62' x 120' lots (*i.e. a minimum of 7,440 SF*); 95, 72' x 120' lots (*i.e. a minimum of 8,640 SF*); 13, 82' x 120' lots (*i.e. a minimum of 9,840 SF*); and 10, 100' x 120' lots (*i.e. minimum of 12,000 SF*), which equated to an average lot size of 7,802.74 SF and a density of 2.68 dwelling units per acre. This request went before the Planning and Zoning Commission on April 13, 2021, and a motion to approve the case was approved by a vote of 5-2, with Commissioners Chodun and Moeller dissenting. Following this action -- *on April 19, 2021* --, the City Council failed to approve a motion to approve the zoning change by a vote of 3-4, with Mayor Pruitt and Councilmembers Daniels, Campbell, and Macalik dissenting. Since the motion to approve failed and no subsequent motion was made, the failure was considered to be a denial with prejudice.

In conformance with Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) the applicant submitted a written request outlining changes to the density, lot mix, open space, fencing, trails and amenities, and monumentation signage. In accordance with the procedures of the Unified Development Code (UDC), the Director of Planning and Zoning forwarded the request to the Planning and Zoning Commission for consideration, and on May 11, 2021 the Planning and Zoning Commission approved a motion to allow the applicant to

resubmit an application by a vote of 4-1, with Commissioner Chodun dissenting, and Commissioners Moeller and Conway absent.

PURPOSE

On May 14, 2021, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 490-lot single-family, residential subdivision that will consists of three (3) lot sizes (*i.e. [A] 226, 62' x 120'; [B] 249, 72' x 120'; and [C] 15, 100' x 120'*).

ADJACENT LAND USES AND ACCESS

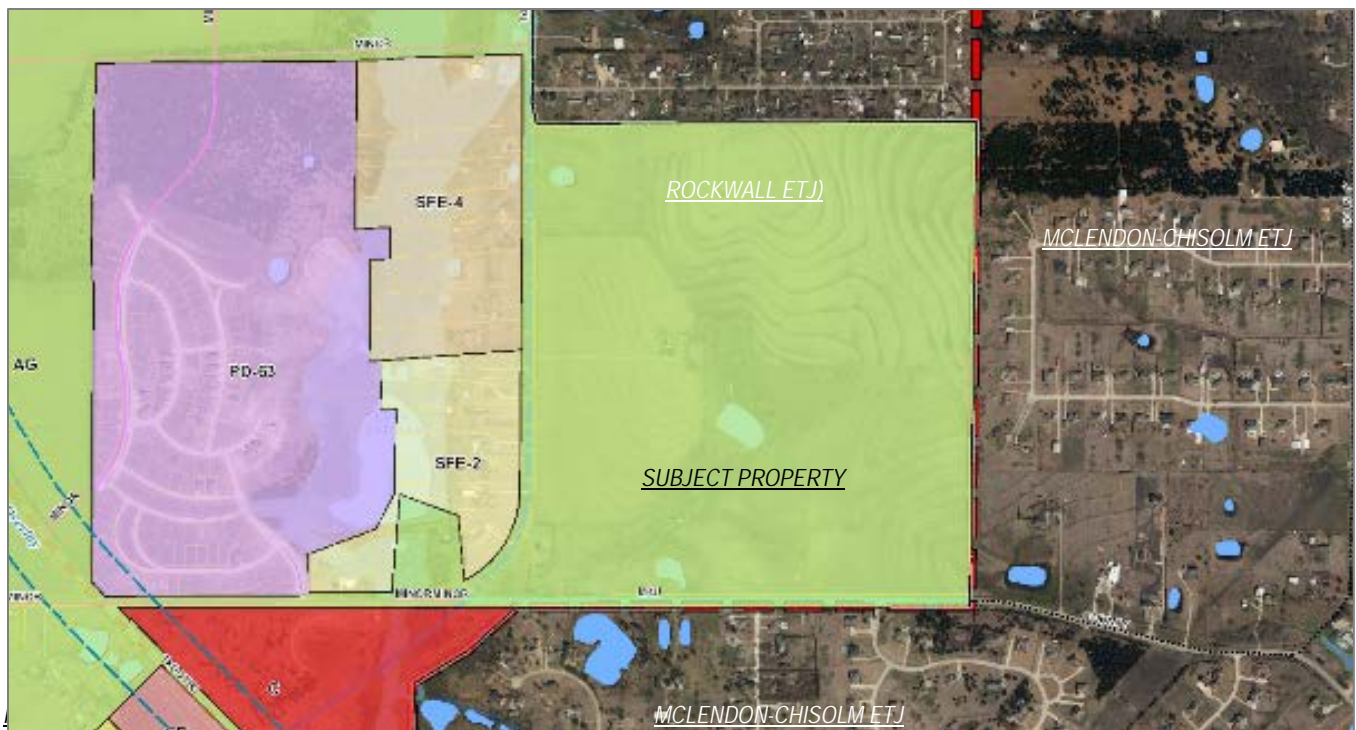
The subject property is located northeast of the intersection of FM-549 and FM-1139. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the corporate limits of the City of Rockwall followed by residential properties situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall. This area includes the Woolridge Estates and Willow Ridge Subdivisions. Beyond this is the corporate limits of the City of Rockwall followed by Phase 3 of the Fontanna Ranch Subdivision, which is zoned Planned Development District 67 (PD-67) for Single-Family 16 (SF-16) District land uses.

South: Directly south of the subject property is FM-1139, which is identified as a M4U (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the corporate limits of the City of Rockwall followed by residential properties situated within the City of McLendon-Chisolm's Extraterritorial Jurisdiction (ETJ).

East: Directly east of the subject property are the corporate limits of the City of Rockwall. Beyond this are the corporate limits of the City of Rockwall followed by residential properties situated within the City of McLendon-Chisolm's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is FM-549, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are eight (8) single-family residential homes zoned



Single-Family Estate 2.0 (SFE-2.0) District, and eight (8) single-family residential homes zoned Single-Family Estate 4.0 (SFE-4.0) District. East of these properties is Phase 1 of the Somerset Park Subdivision, which consists of 152 single-family residential homes on 56.43-acres. This subdivision is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 196.009-acre subject property will be broken down into 490 single-family residential lots that will consist of three (3) lot types (i.e. 62' x 120', 72' x 120', and 100' x 120'). More specifically, the development will incorporate 226, 62' x 120' lots (i.e. a minimum of 7,440 SF); 249, 72' x 120' lots (i.e. a minimum of 8,640 SF); and 15, 100' x 120' lots (i.e. minimum of 12,000 SF), which equates to an average lot size of 8,189.38 SF. This would translate to a density of 2.50 dwelling units per acre for the total development. The minimum dwelling unit size (i.e. air-condition space) will range from 2,200 SF to 2,800 SF. According to the applicant, the proposed housing product will be of the same quality as the Breezy Hill and Stone Creek Subdivisions, but will incorporate updated floor plans. Staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry (with a minimum of 85% masonry on each façade), and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 50% cementitious fiberboard utilized in a horizontal lap-siding, board-and-batten siding, or decorative pattern to allow a more *Traditional Neighborhood Design* product (also referred to as *Gingerbread*). The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 8.4 (SF-8.4) District. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	226	46.12%
B	72' x 120'	8,640 SF	249	50.82%
C	100' x 120'	12,000 SF	15	03.06%
<i>Maximum Permitted Units:</i>			490	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	D
<i>Minimum Lot Width</i> ⁽¹⁾	62'	72'	100'
<i>Minimum Lot Depth</i>	120'	120'	120'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	12,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

- 6: *Type 'A' Lots* that incorporate a *flat-front entry* garage configuration shall be required to have a minimum setback of 25-feet.

The proposed concept plan shows that the development will consist of 13.6-acres of open space (*which includes a dog park*), a 1.606-acre amenity center, and a 50.8-acre public park. This represents a total of 66.006-acres (*or 33.67%*) of the site being dedicated to open space/amenity. This exceeds the total required open space of 20.00% (*or 39.20-acres*) by 13.68% (*or 26.806-acres*). In addition, the applicant has indicated that the proposed development will provide a six (6) foot meandering trail along the frontage of FM-549 and from the amenity center to the proposed public park. Situated adjacent to the trail in the central greenspace will be a trail head that will be designed at the time of site plan. The applicant has also indicated that the building materials for the amenity center will incorporate materials from the old farmhouse currently on the subject property. All of these items have been included into the proposed Planned Development District ordinance and will be requirements of the proposed subdivision.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. All of the residential streets will need to have a minimum of 50-feet of right-of-way with a 29-foot *back-to-back* concrete street; however, any roadway adjacent to the proposed public park will need to have a minimum of 60-feet of right-of-way with a 41-foot *back-to-back* concrete street. Since the Texas Department of Transportation (TXDOT) will be widening and improving FM-549 in July of 2021, no improvements are necessary for this roadway.
- (2) Water. The applicant shall be required to provide a letter from Blackland Water Supply Corporation -- *the holder of the Certificate of Convenience and Necessity (CCN) for a portion of the subject property* -- stating that they can serve domestic and fire protection meeting the City's minimum standards for the portion of the property that is located within their CCN. As an alternative, the applicant can pursue opting out of the Blackland Water Supply Corporation's CCN. Any water system utilized to provide water to the site will be required to utilize a minimum of an eight (8) inch line that is to be looped through the subject property.
- (3) Wastewater. The applicant will need to connect the subdivision to the City's existing sanitary sewer system. This includes extending a minimum of an eight (8) inch wastewater line connecting the subject property to the existing *Long Branch Lift Station*. Existing pro-rata agreements will also need to be paid for the *Long Branch* and both *FM-3097 Lift Stations* in the amount of \$545.38/acre and \$432.74/acre. In addition, both of the *FM-3097 Lift Stations* will need to be upgraded to ultimate capacity (*i.e. pumps, electrical equipment, generators, and any other appurtenances*) if more than 242 lots are constructed. Since the applicant is proposing to increase the densities that are called for on the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, an infrastructure study will need to be performed to determine the impact to the existing system, and the capacity and necessary improvements to all lift stations needed to sufficiently serve the development.
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council

the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]

- (2) Garage Configuration. The Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing* [or *traditional swing*] garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80% *J-Swing* or *Traditional Swing* garages and 20% *Flat Front Entry* garages (i.e. where the garage is even with the front façade). This translates to 43.36% (i.e. 98) of the *Type 'A' Lots* (i.e. 62' x 120' lots) being *Flat Front Entry* with all of the *Type 'B' & 'C' Lots* (i.e. *Type 'B': 72' x 120' lots and Type 'C': 100' x 120' lots*) being in a *J-Swing* or *Traditional Swing* garage configuration. As a compensatory measure the applicant is proposing to increase the front yard building setback from 20-feet to 25-feet for homes that have a *Flat Front Entry* garage configuration. The applicant is also proposing to provide decorative wood garage doors or garage doors that incorporate a wood overlay on an insulated metal door. All garage doors will also incorporate carriage style hardware. In addition, the applicant will still have the ability to provide *Recessed Front Entry* garages (i.e. where the front of the garage is setback a minimum of 20-feet from the front façade of the house) on all lots.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South Central Residential District and is designated for Low Density Residential land uses on the Future Land Use Plan. According to the Comprehensive Plan, Low Density Residential land uses are defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In addition, the Comprehensive Plan defines amenity as, "... developments that provide some of the following: [1] open space beyond the required 20%, [2] a golf course and/or other comparable recreation facilities, [3] amenity/recreation facilities, [4] school site integration, [5] dedication or development of park land beyond the required park land dedication, [6] additional development of trails, [7] other amenities deemed appropriate by the City Council." In this case, the applicant is requesting a 2.50 dwelling units per gross acre, and is proposing to construct [1] an amenity center, [2] open space in excess of 20% (i.e. 33.67% or 66.006-acres of open space), [3] a trail system and trail head, and [4] the dedication of a 50.08-acre public park. The proposed amenities do appear to justify the requested density; however, density under any Planned Development District request is a discretionary decision for the City Council; however, staff should note that (since the proposed zoning change is in conformance with the Future Land Use Plan) the zoning change would not change the desired land use ratio of residential to commercial, which is targeted at providing a ratio of 80% residential/ 20% commercial land uses per the Comprehensive Plan [Goal 01, Policy 1; Section 02.01 of Chapter 1].

With regard to the policies for residential development contained in the Comprehensive Plan, the applicant's request appears to be in substantial conformance with this section of the OURHometown Vision 2040 Comprehensive Plan; however, the approval of any zoning change is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

PARKS AND RECREATION BOARD

Per the Planning and Zoning Commission's request with *Case No. Z2021-007*, staff brought the original concept plan to the Parks and Recreation Board for their review and recommendation concerning locating a regional public park on the subject property. On April 6, 2021, the Parks and Recreation Board approved a motion to recommend approval of the proposed public park as a regional park by a vote of 6-0, with Board Member Dodd absent.

As part of the newly submitted case, the Klutts Family has requested that the City consider naming the proposed regional public park after Mayor Ben Klutts. Based on this request, staff brought the proposal back to the Parks and Recreation Board on June 1, 2021. At this meeting, the Parks and Recreation Board approved a motion stating that -- if the land was dedicated to the City -- the Parks and Recreation Board and the Parks Naming Subcommittee would consider the name in accordance with the *Park Naming Guidelines* of the City of Rockwall. This motion was approved by a vote of 6-0 with Board Member Hasenyager absent.

For comparison purposes staff has provided an exhibit of Harry Meyers Park for the Planning and Zoning Commission's review. Harry Meyers Park is a regional park that consists of a total of 66.29-acres of land (*consisting of 22.76-acres of floodplain and 43.53-acres of land outside of the floodplain*).

NOTIFICATIONS

On May 21, 2021, staff mailed 23 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance; and,
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S FM 549, Rockwall, TX

Subdivision Ramsey Survey Abstract-186

Lot N/A Block N/A

General Location NEC of S FM 549 and FM 1139

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use Agricultural

Proposed Zoning PD - Single Family

Proposed Use Single Family Residential Subdivision

Acreage 198.52

Lots [Current] N/A

Lots [Proposed] 555

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Klutts Farm, LLC

Applicant Skorburg Company

Contact Person Ben Klutts, Jr

Contact Person Kevin Harrell

Address 1604 N Hills Dr

Address 8214 Westchester
Suite 900

City, State & Zip Rockwall, TX 75087

City, State & Zip Dallas, TX 75225

Phone 972-771-5755

Phone 214-888-8859

E-Mail BKluttsjr@att.net

E-Mail KHarrell@SkorburgCompany.com

NOTARY VERIFICATION [REQUIRED]

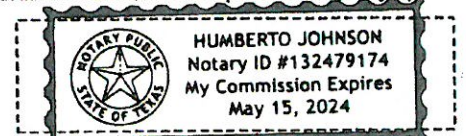
Before me, the undersigned authority, on this day personally appeared Ben Klutts [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 18th day of March, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

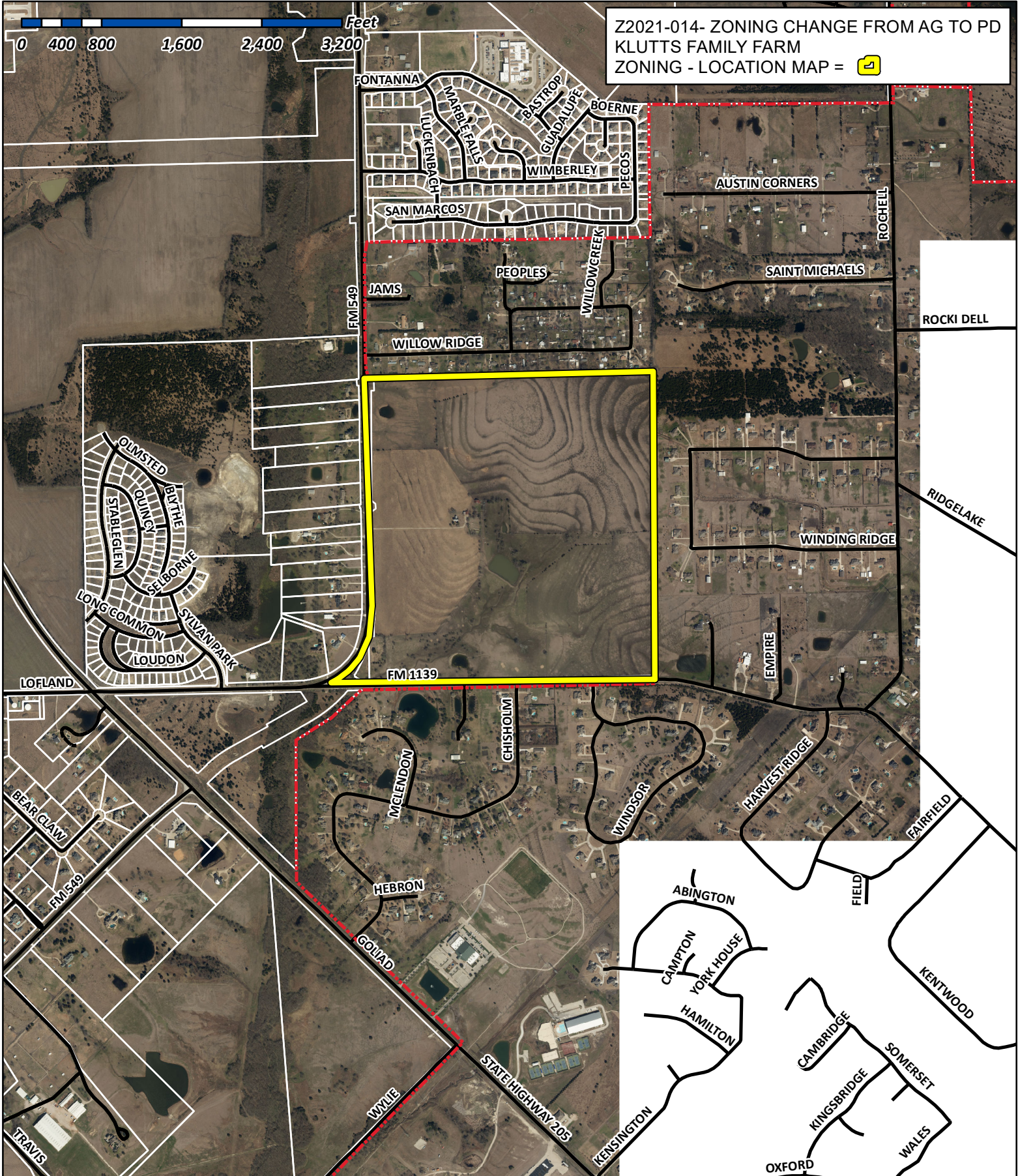
Given under my hand and seal of office on this the 18th day of March, 20 21.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

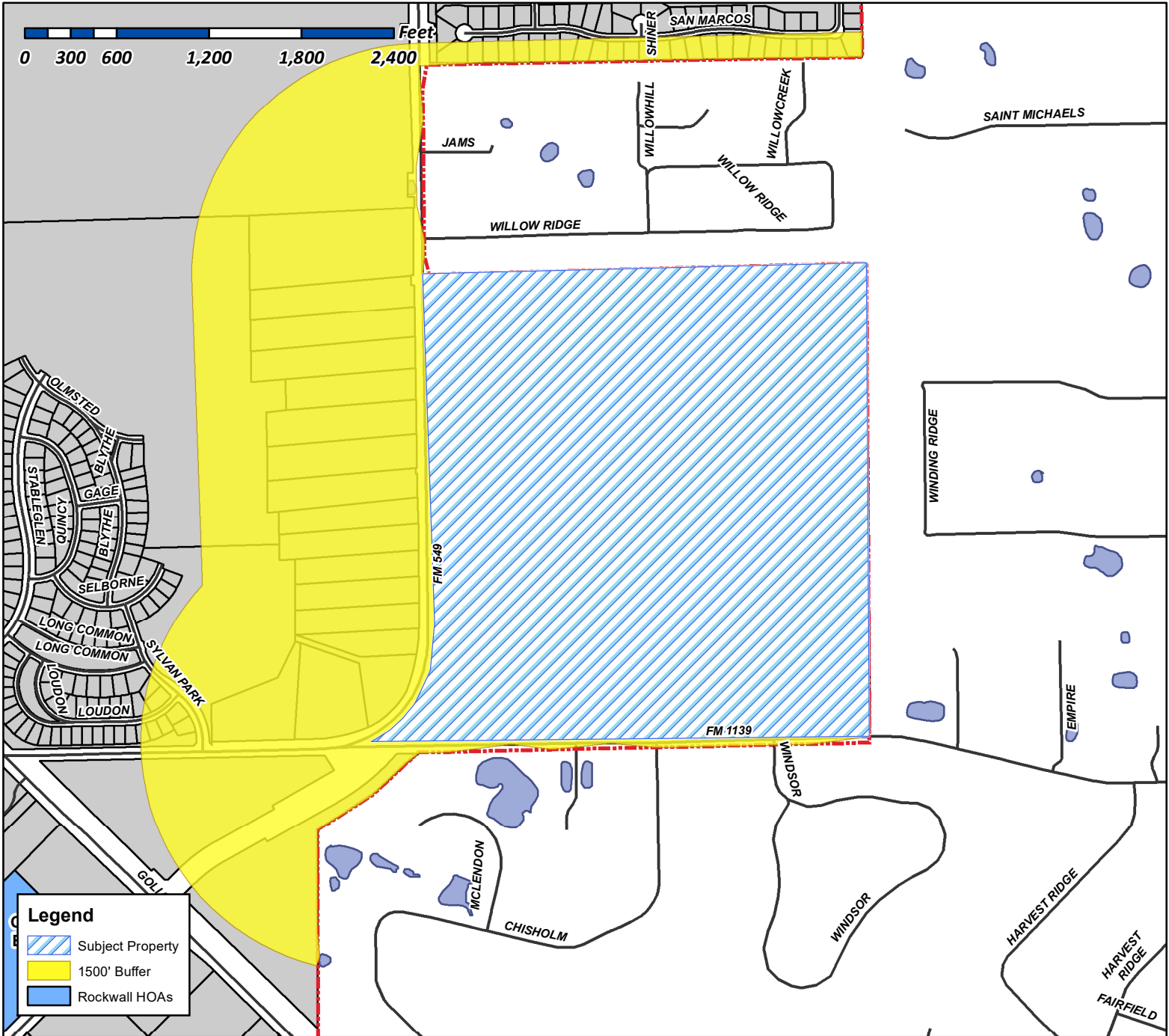




City of Rockwall

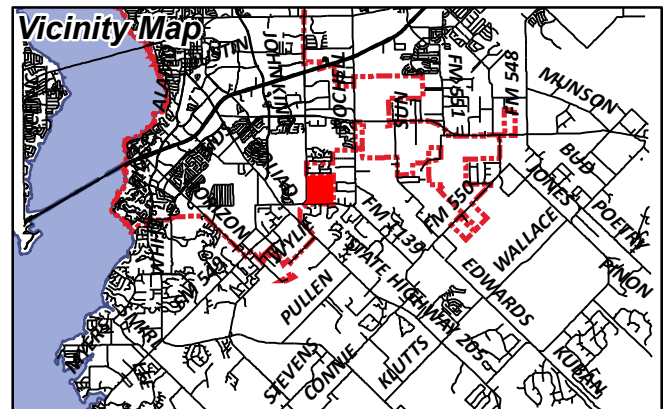
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2021-014
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 549 and FM 1139

Date Created: 5/13/2021
For Questions on this Case Call (972) 771-7745

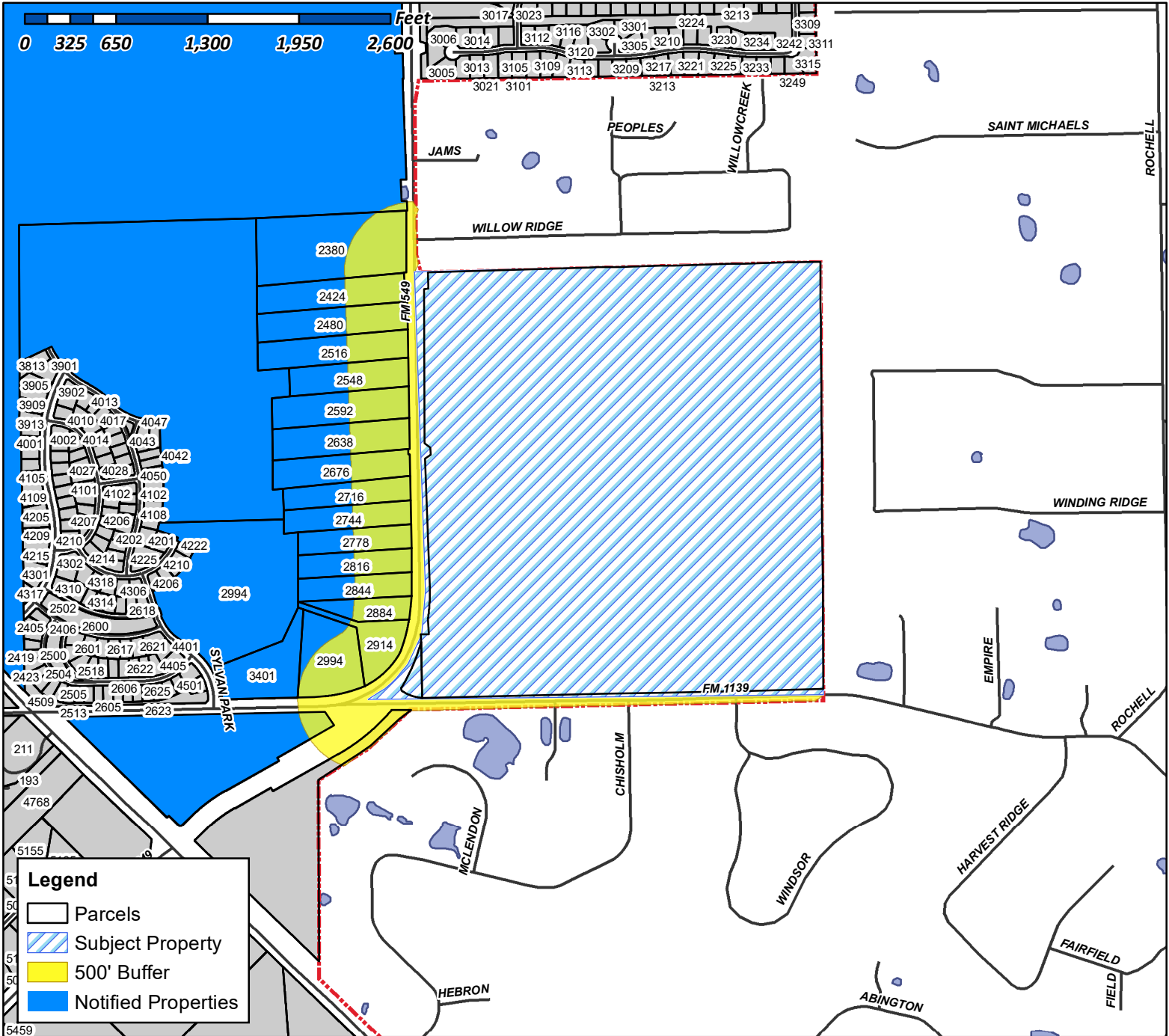




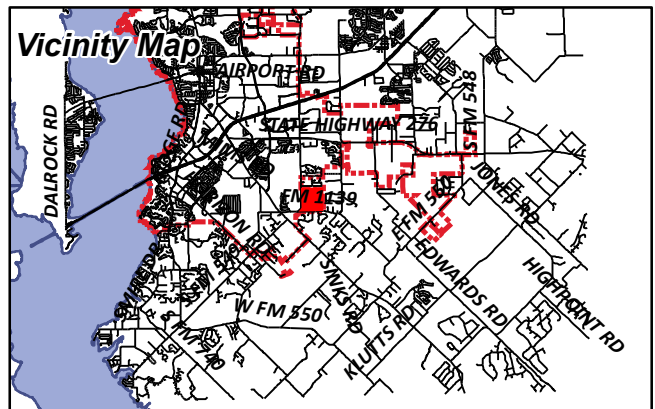
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For Questions on this Case Call (972) 771-7745

ROCKWALL 205 INVESTORS LLC
1 CANDLELITE TRAIL
HEATH, TX 75032

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

CHERRY BRUCE
1111 CAMBRIDGE CT
ROCKWALL, TX 75032

NELLER GARY K & HELEN COMEAU
148 HARVEST HILL DR
ROCKWALL, TX 75032

KLUTTS FARM LLC
1604 NORTH HILLS DR
ROCKWALL, TX 75087

NELLER GARY K & HELEN COMEAU
2380 FM 549
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
2424 FM5 49
ROCKWALL, TX 75032

ACOSTA ANTHONY
2480 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L
2516 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L
2548 FM 549
ROCKWALL, TX 75032

CHERRY BRUCE
2592 FM 549
ROCKWALL, TX 75032

LEE RICHARD V & GLORIA J
2638 S FM 549
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M
2676 FM 549
ROCKWALL, TX 75032

POWERS FAMILY TRUST
JAMES DWAIN & PATRICIA ANNETTE POWERS
CO TRUSTEES
2716 FM549
ROCKWALL, TX 75032

OHMANN THOMAS J & CAROL J
2744 S FM 549
ROCKWALL, TX 75032

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

HERRERA AARON J AND JENNIFER R AND
FOREHAND DALE A AND AMELIA A
2816 FM 549
ROCKWALL, TX 75032

WELCH CASEY K AND CATHARINE
2844 S FM 549
ROCKWALL, TX 75032

PETTIFORD SEAN AND BRANDI
2884 FM 549
ROCKWALL, TX 75032

SOLIS CARLOS HERIBERTO AND CRYSTAL GARZA-
SOLIS
2914 FM 549
ROCKWALL, TX 75032

JONES DOUGLAS A
2994 FM 549
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
PO BOX 1091
ROCKWALL, TX 75087

POWERS FAMILY TRUST
JAMES DWAIN & PATRICIA ANNETTE POWERS
CO TRUSTEES
PO BOX 850
ROCKWALL, TX 75087



Skorburg Company
8214 Westchester Dr., Ste.
900
Dallas, TX 75225
Phone: 214/522-4945
Fax: 214/522-7244

May 14, 2021

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

Upon receiving a 4-1 favorable vote from the Planning & Zoning Commission on May 11, 2021 that our revised concept plan fulfills the requirements of a Substantial Change, the Skorburg Company is submitting a revised zoning application and respectfully requests that our project (the "Homestead") be taken to the May 25, 2021 Planning & Zoning Commission Meeting (Work Session) and June 15th, 2021 Planning and Zoning Commission Meeting (Action Meeting). The Homestead consists of ±196 Acres in the J. A. Ramsey Survey, City of Rockwall, Rockwall County, located at the Northeast corner of F.M. 549 and FM 1139.

The property is currently zoned AG. Our proposed development allows for a maximum of 490 single-family detached residential homes on lots ranging from a minimum of 7,440 SF to 12,000 SF, which equates to a maximum density of 2.49 units per acre (compliant with the City's Comprehensive Plan). This community will feature high quality homes as featured in other high quality Skorburg communities like Stone Creek Estates, Breezy Hill Estates, and Gideon Grove.

This zoning request fully conforms to the City's Comprehensive Plan with no variances being requested. Over and above complying with the City's Comprehensive Plan, this ordinance also makes voluntary commitments to high quality construction materials such as a 90% minimum masonry requirement and enhanced garaged doors.

Featuring an extensive 33% open space (well over the 20% open space requirement), this unique development also includes an extensive list of amenities:

- an amenity center with an enclosed clubhouse with restrooms, pool, and parking
- enhanced entry monumentation
- strategically located trails with high quality trail head in a centralized open space
- a dog park; and
- a proposed 50-acre contiguous tract of land to be dedicated to the City of Rockwall for a Regional City Park that will add beauty, quality of life, and increase property values for future and existing residents of the surrounding area, which has been affirmed as being desired by the City's Park Board and would fulfill a need of the Park Board's Comprehensive Plan.

From the onset of this zoning process, the Skorburg Company and landowner have worked collaboratively, professionally, and in good faith and taken to heart the desires and inputs of adjacent residents, particularly from the neighbors to the west along FM 549. To illustrate this, **Exhibit “A”** attached to this letter contains an e-mail from Mr. Richard Henson to Adam Buczek dated April 16, 2021. While we tried, we were unable to satisfy his demands at the April 19, 2021 council meeting.

However, after being denied by City Council at the April 19, 2021 meeting on the basis of density (which has now been satisfied as this revised zoning request conforms to the Comprehensive Plan), the property owner and Skorburg went back to the drawing board pivoting off of Mr. Henson’s commitment which required enormous concessions from us and our landowner. In comparing Mr. Henson’s counter proposal on Page 4 of Exhibit “A”, it is evident that our revised Concept Plan materially conforms to his expectations to not oppose our zoning request, and in fact, our plan contains ten (10) fewer lots than he requested.

We look forward to working with the City to make The Homestead a reality and an asset for the Rockwall community to enjoy for many decades to come.

Cordially Yours,

Kevin Harrell
Land Acquisition Manager

EXHIBIT 'A' (p. 1 of 4)

Adam Buczek

From: Richard Henson <hendad4@yahoo.com>
Sent: Friday, April 16, 2021 12:55 AM
To: txsharon1@yahoo.com; Adam Buczek
Subject: Re: Updates / revised Homestead (Klutts Farm) Concept Plan zoning request
Attachments: Plat revised 4-15-21.pdf

Adam
Please see attached

- Your most recent plat of the development; and
- Our counter proposed plat (2nd page)

I do not have the appropriate software for this type of map manipulation (just Power Point). You can easily see where I manipulated the map (NW part of development)

If you will agree to these edits, along with your previous concessions, we will not protest the development at next week at city hall.

Best
Richard W Henson
214-288-3084

On Thursday, April 15, 2021, 07:30:19 PM CDT, Adam Buczek <abuczek@skorburgcompany.com> wrote:

Good evening, Richard & Sharon.

I wanted to provide you with the latest updated / revised Homestead layout that incorporates the changes as required by the P&Z Commission's recommendation on Monday night (plus I was able to provide some additional enhancement of a larger average lot size in the mix as I explain below).

This will be our final layout that I present to city council next Monday night.

Nothing changed except we incorporated the recommendation of the P&Z Commission to intermix the 72' wide lots with the 62' wide lots to create a more mix of product types within the streets (hence you see the mixing of the yellow and orange colored lots).

EXHIBIT "A" (p. 2 of 4)

Interestingly, in doing this work with my engineer since the P&Z Meeting and due to us having extensive curvilinear streets – we were actually able to convert 14 of the 62' wide lots into 72' wide lots as part of the intermixing of lot types (so this revised layout actually goes above and beyond P&Z's recommendation by increasing the # of 72' wide lots without any change to the total # of lots).

I hope these changes make the plan more to your liking. I am happy to discuss any other questions you or your neighbors may have. Thank you.

Best Regards,

Adam J. Buczek

Development Partner

Skorburg Company

8214 Westchester Drive, Suite 900

Dallas, Texas 75225

Ph: (214) 888-8843

Cell: (817) 657-5548

Fax: (214) 888-8861

EXHIBIT "A" (p. 364)

Skorburg
 Proposal as of 4/16/21



EXHIBIT "A" (p. 4 of 4)

Counter proposal
From Henson
4/16/21

Stone Creek quality entrance

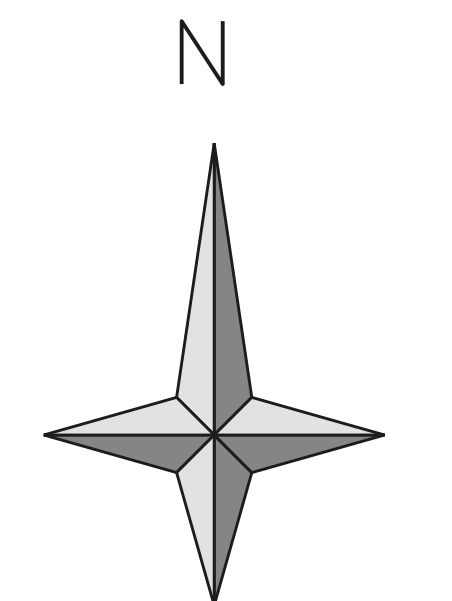


Entrance set back like Stone Creek with a median, curves in street & significant monument
Add green space around entrance
Add 72' lots on streets around club house
It appears to be 26 fewer lots

(A)



(A) This revised zoning request has 36 fewer lots.
(10 fewer lots than suggested by Mr. Henson)



- A**
TOMAS JIMENEZ
DOC. NO. 2017000021846
O.P.R.R.C.T.
- C**
ANDRADE MARTIN
VOL. 1200, PG. 62
D.R.R.C.T.
- E**
DON & CINDY LAREY
VOL. 1200, PG. 140
D.R.R.C.T.
- G**
SAUL G. PACHECO
VOL. 6754, PG. 127
D.R.R.C.T.
- I**
JONATHAN H. HULLETT
VOL. 6737, PG. 21
D.R.R.C.T.
- K**
JAMES & ELVIRA MATTEWS
VOL. 7061, PG. 106
D.R.R.C.T.
- M**
NO DEED FOUND
- O**
FLOR ALEY SECUNDINO
DOC. NO. 2019000000270
O.P.R.R.C.T.
- Q**
RAUL MEDINA
DOC. NO. 20170000009503
O.P.R.R.C.T.
- S**
CLARITA B. ZAMARRIPA
DOC. NO. 20200000022842
O.P.R.R.C.T.
- U**
JORGE ACOSTA
DOC. NO. 20170000019604
O.P.R.R.C.T.
- B**
DONNE PEOPLES
VOL. 7390, PG. 128
D.R.R.C.T.
- D**
JOEL SOLIS
VOL. 329, PG. 287
D.R.R.C.T.
- F**
HECTOR T. CHAVEZ
DOC. NO. 20140000018513
O.P.R.R.C.T.
- H**
JONATHAN H. & LAUREN N. HULLETT
DOC. NO. 20170000002690
O.P.R.R.C.T.
- J**
HARRY CRUMP
VOL. 3105, PG. 319
D.R.R.C.T.
- L**
WILLIE CLARK
VOL. 120, PG. 767
D.R.R.C.T.
- N**
ANNETTE MARY WEY-MASS
DOCUMENT NO. 2018000003567
O.P.R.R.C.T.
- P**
SHARON A. GROVES
VOL. 6140, PG. 279
D.R.R.C.T.
- R**
ARAMANDO & ANTONIA MARQUEZ
DOC. NO. 20200000006146
O.P.R.R.C.T.
- T**
ROSEL R. REYNA
VOL. 1123, PG. 31
D.R.R.C.T.
- V**
DOMINGO GRIMALDI
VOL. 6017, PG. 203
D.R.R.C.T.

Legal Description
Being a tract of land situated in the John A. Ramsey Survey, Abstract No. 186 and in the Amber Johnson Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being part of a called 200 acre tract described as Tract 1 and part of a called 1,417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in Document No. 20160000019783, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being part of a called 200 acre tract described as Tract 1 and part of a called 1,417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in Document No. 20160000019784, O.P.R.R.C.T., said tract being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with TxDOT cap found at the northeast corner of a tract of land conveyed to the State of Texas, as recorded in Document No. 20200000013574, O.P.R.R.C.T., being in the east line of FM 549 (variable width right-of-way) and in the north line of said Klutts Farm;

THENCE North 88 degrees 26 minutes 14 seconds East, with the north line of said Klutts Farm, a distance of 2,790.07 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set the northeast corner of said Klutts Farm;

THENCE South 01 degree 01 minute 34 seconds East, with the east line of said Klutts Farm and the west line of a called 17.07 acre tract described in a deed to Bobby H. Butler and Sarah J. Butler, as recorded in Volume 1381, Page 266, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), a distance of 309.76 feet to a 1/2-inch iron rod found at the southwest corner of said Butler tract and the northwest corner of Hillview Acres, an addition to Rockwall County, as recorded in Volume F, Page 1, of the Plat Records of Rockwall County, Texas;

THENCE South 00 degrees 21 minutes 05 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Hillview Acres, a distance of 1,446.49 feet to a 1-inch iron pipe found;

THENCE South 00 degrees 16 minutes 45 seconds East, continuing with the east line of said Klutts Farm and west line of said Hillview Acres, a distance of 494.64 feet to a 1-inch iron pipe found at the southwest corner of said Hillview Acres, being the northwest corner of a called 15.00 acre tract described in a deed to James J. Fuxa and Deborah A. Fuxa, as recorded in Volume 1471, Page 70, D.R.R.C.T.;

THENCE South 00 degrees 10 minutes 07 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Fuxa tract, a distance of 792.29 feet to a 1/2-inch iron rod found at the southwest corner of said Fuxa tract, being in the north line of FM 1139 (80-foot right-of-way);

THENCE South 88 degrees 46 minutes 40 seconds West, with the north line of said FM 1139, a distance of 2,147.11 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set;

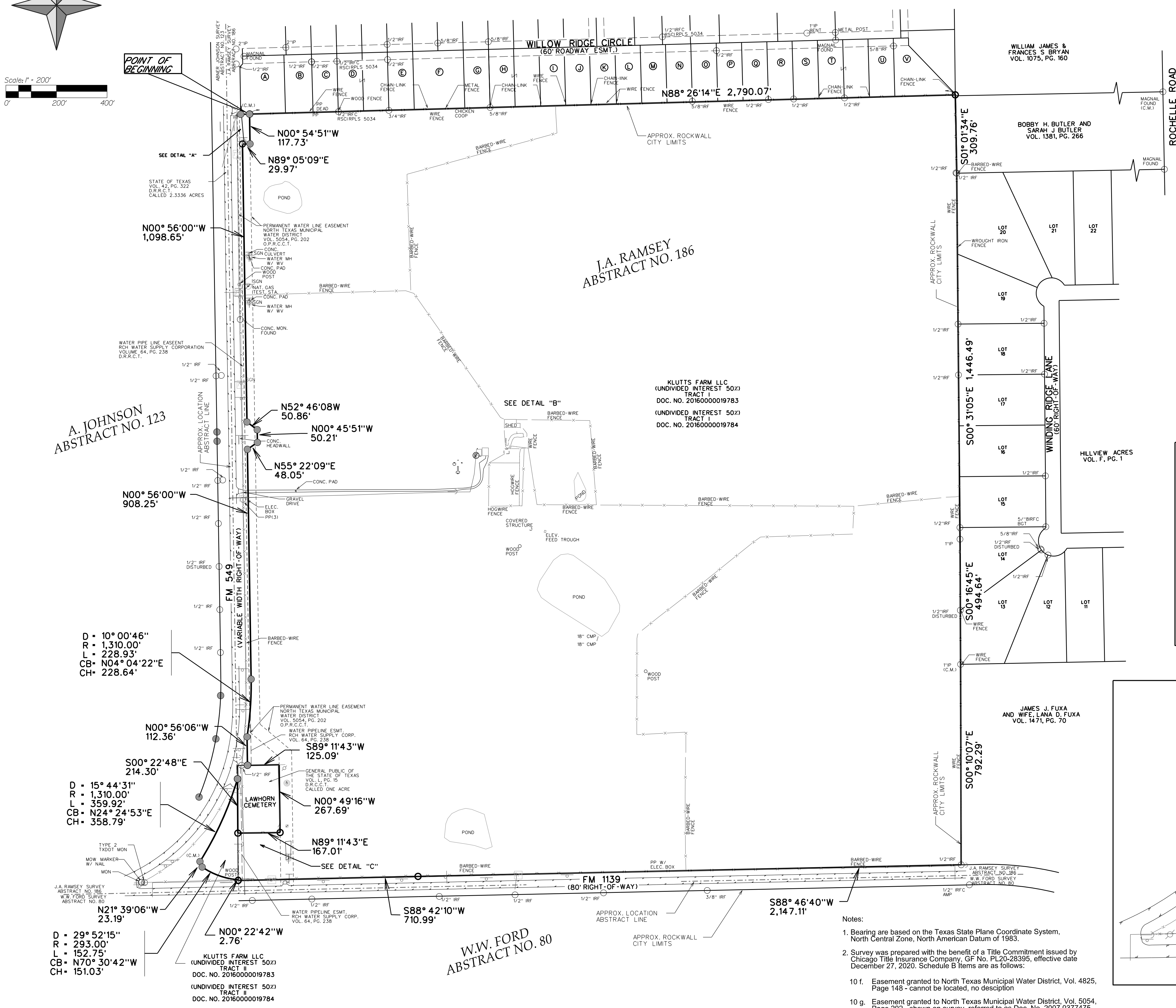
THENCE North 00 degrees 22 minutes 42 seconds West, continuing with the north line of said FM 549, a distance of 2.76 feet to a wood post found on a curve to the right, having a radius of 293.00 feet and a central angle of 29 degrees 52 minutes 15 seconds;

THENCE with said curve to the right, an arc distance of 152.75 feet (Chord Bearing North 70 degrees 30 minutes 42 seconds West 131.03 feet), to a 5/8-inch iron rod with TxDOT cap found at the point of tangency;

THENCE North 21 degrees 39 minutes 06 seconds West, continuing with the east line of said FM 549, a distance of 23.19 feet to a 5/8-inch iron rod with TxDOT cap found on a non-tangent curve to the left, having a radius of 1,310.00 feet and a central angle of 15 degrees 44 minutes 31 seconds;

THENCE continuing with the east line of said FM 549 and with said curve to the left, an arc distance of 359.92 feet (Chord Bearing North 24 degrees 24 minutes 53 seconds East 358.79 feet) to a 5/8-inch iron rod with TxDOT cap found in the west line of a called one acre tract described in a deed to General Public of the State of Texas, as recorded in Volume L, Page 15, D.R.R.C.T.;

THENCE South 00 degrees 22 minutes 48 seconds East, departing the east line of said FM 549 and with the west line of said one acre tract, a distance of 214.30 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set at the southwest corner of said one acre tract;



Legal Description
Being a tract of land situated in the John A. Ramsey Survey, Abstract No. 186 and in the Amber Johnson Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being part of a called 200 acre tract described as Tract 1 and part of a called 1,417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in Document No. 20160000019783, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being part of a called 200 acre tract described as Tract 1 and part of a called 1,417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in Document No. 20160000019784, O.P.R.R.C.T., said tract being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with TxDOT cap found at the northeast corner of a tract of land conveyed to the State of Texas, as recorded in Document No. 20200000013574, O.P.R.R.C.T., being in the east line of FM 549 (variable width right-of-way) and in the north line of said Klutts Farm;

THENCE North 88 degrees 26 minutes 14 seconds East, with the north line of said Klutts Farm, a distance of 2,790.07 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set the northeast corner of said Klutts Farm;

THENCE South 01 degree 01 minute 34 seconds East, with the east line of said Klutts Farm and the west line of a called 17.07 acre tract described in a deed to Bobby H. Butler and Sarah J. Butler, as recorded in Volume 1381, Page 266, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), a distance of 309.76 feet to a 1/2-inch iron rod found at the southwest corner of said Butler tract and the northwest corner of Hillview Acres, an addition to Rockwall County, as recorded in Volume F, Page 1, of the Plat Records of Rockwall County, Texas;

THENCE South 00 degrees 21 minutes 05 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Hillview Acres, a distance of 1,446.49 feet to a 1-inch iron pipe found;

THENCE South 00 degrees 16 minutes 45 seconds East, continuing with the east line of said Klutts Farm and west line of said Hillview Acres, a distance of 494.64 feet to a 1-inch iron pipe found at the southwest corner of said Hillview Acres, being the northwest corner of a called 15.00 acre tract described in a deed to James J. Fuxa and Deborah A. Fuxa, as recorded in Volume 1471, Page 70, D.R.R.C.T.;

THENCE South 00 degrees 10 minutes 07 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Fuxa tract, a distance of 792.29 feet to a 1/2-inch iron rod found at the southwest corner of said Fuxa tract, being in the north line of FM 1139 (80-foot right-of-way);

THENCE South 88 degrees 46 minutes 40 seconds West, with the north line of said FM 1139, a distance of 2,147.11 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 22 minutes 42 seconds West, continuing with the north line of said FM 549, a distance of 2.76 feet to a wood post found on a curve to the right, having a radius of 293.00 feet and a central angle of 29 degrees 52 minutes 15 seconds;

THENCE with said curve to the right, an arc distance of 152.75 feet (Chord Bearing North 70 degrees 30 minutes 42 seconds West 131.03 feet), to a 5/8-inch iron rod with TxDOT cap found at the point of tangency;

THENCE North 21 degrees 39 minutes 06 seconds West, continuing with the east line of said FM 549, a distance of 23.19 feet to a 5/8-inch iron rod with TxDOT cap found on a non-tangent curve to the left, having a radius of 1,310.00 feet and a central angle of 15 degrees 44 minutes 31 seconds;

THENCE continuing with the east line of said FM 549 and with said curve to the left, an arc distance of 359.92 feet (Chord Bearing North 24 degrees 24 minutes 53 seconds East 358.79 feet) to a 5/8-inch iron rod with TxDOT cap found in the west line of a called one acre tract described in a deed to General Public of the State of Texas, as recorded in Volume L, Page 15, D.R.R.C.T.;

THENCE South 00 degrees 22 minutes 48 seconds East, departing the east line of said FM 549 and with the west line of said one acre tract, a distance of 214.30 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set at the southwest corner of said one acre tract;

THENCE North 89 degrees 11 minutes 43 seconds East, with the south line of said one acre tract, a distance of 167.01 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set at the southeast corner of said one acre tract, being in the west line of a 50 foot Easement For Right-of-Way to North Texas Municipal Water District, as recorded in Volume 5054, Page 202, O.P.R.R.C.T.;

THENCE North 00 degrees 49 minutes 16 seconds West, with the east line of said one acre tract and west line of said 50 foot Easement, a distance of 267.69 feet to a point at the base of a tree (fenceable to set) at the northeast corner of said one acre tract;

THENCE South 89 degrees 11 minutes 43 seconds West, departing said west line and with the north line of said one acre tract, a distance of 163.09 feet to a 5/8-inch iron rod with TxDOT cap found in the east line of said FM 549;

THENCE North 00 degrees 56 minutes 06 seconds West, with the east line of said FM 549, a distance of 112.36 feet to a 5/8-inch iron rod with TxDOT cap found on a curve to the left, having a radius of 1,310.00 feet and a central angle of 10 degrees 00 minutes 46 seconds;

THENCE continuing with the east line of said FM 549 and with said curve to the left, an arc distance of 228.93 feet (North 04 degrees 04 minutes 22 seconds East 228.64 feet), to a 5/8-inch iron rod with TxDOT cap found at the point of tangency;

THENCE North 00 degrees 56 minutes 00 seconds West, continuing with the east line of said FM 549, a distance of 908.25 feet to a 5/8-inch iron rod with TxDOT cap found;

THENCE North 55 degrees 22 minutes 09 seconds East, continuing with the east line of said FM 549, a distance of 48.05 feet to a 5/8-inch iron rod with TxDOT cap found;

THENCE North 00 degrees 45 minutes 51 seconds West, continuing with the east line of said FM 549, a distance of 50.21 feet to a 5/8-inch iron rod with TxDOT cap found;

THENCE North 00 degrees 46 minutes 08 seconds West, continuing with the east line of said FM 549, a distance of 50.86 feet to a 5/8-inch iron rod with TxDOT cap found;

THENCE North 00 degrees 56 minutes 00 seconds West, continuing with the east line of said FM 549, a distance of 1,098.65 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set;

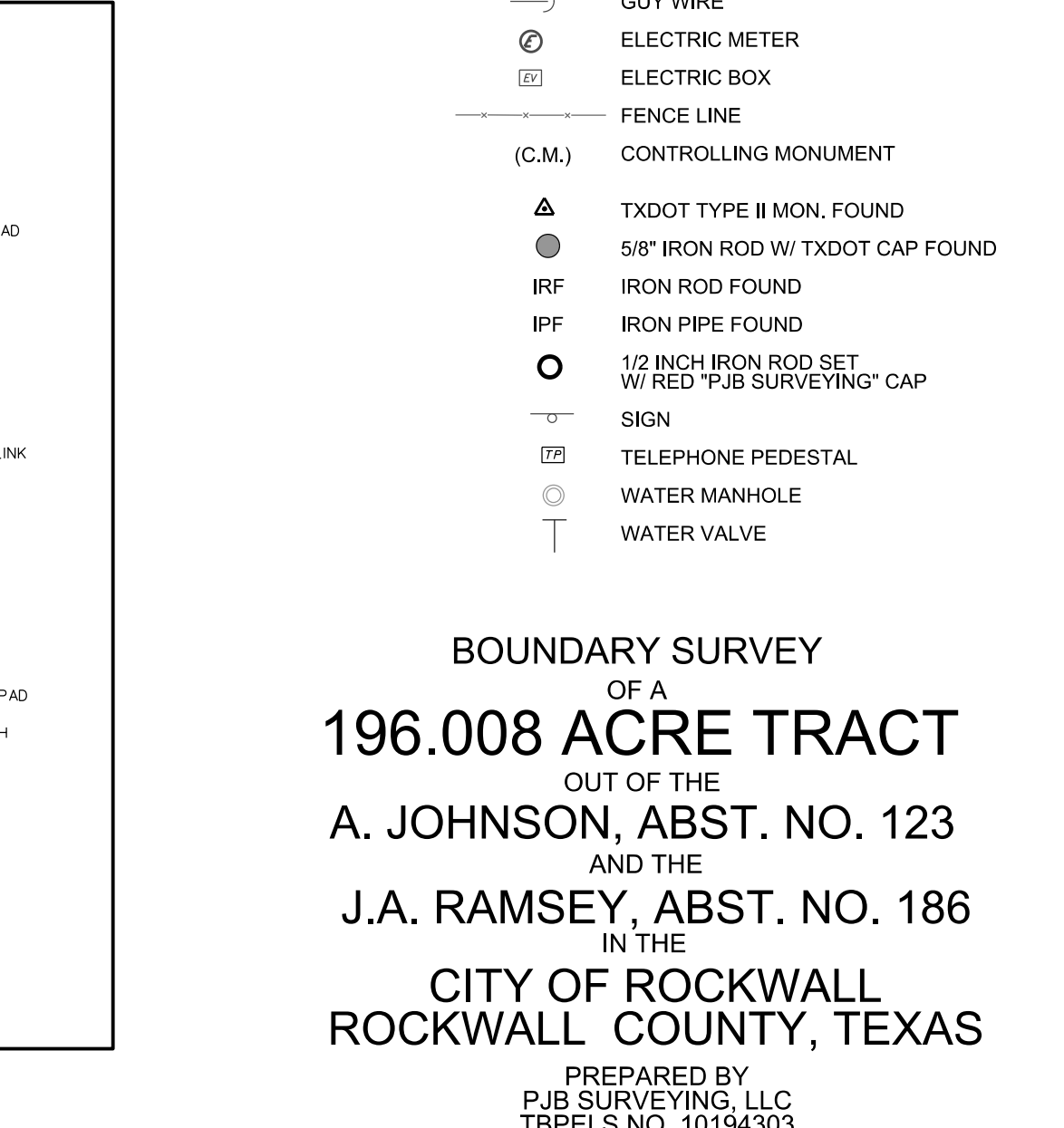
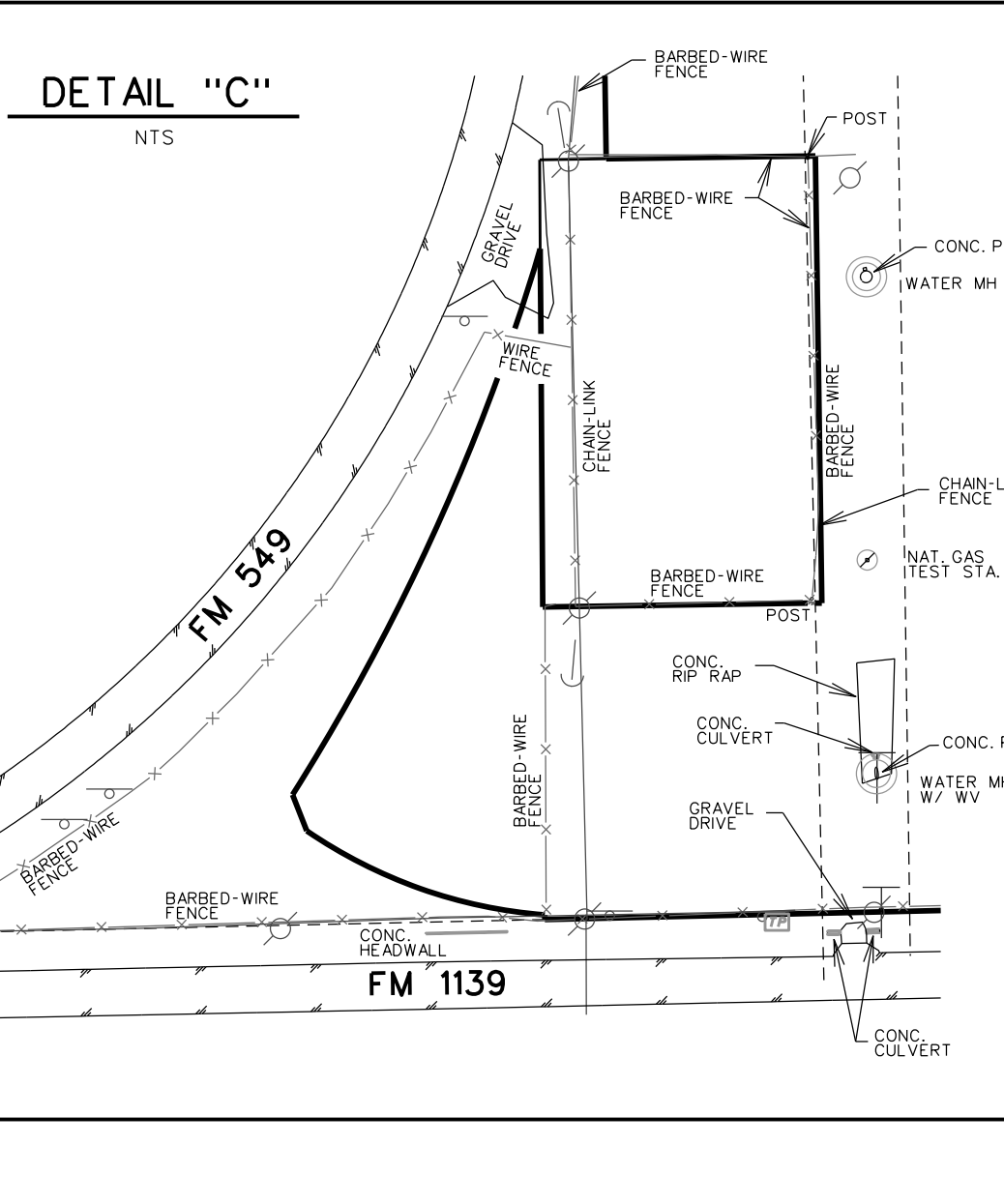
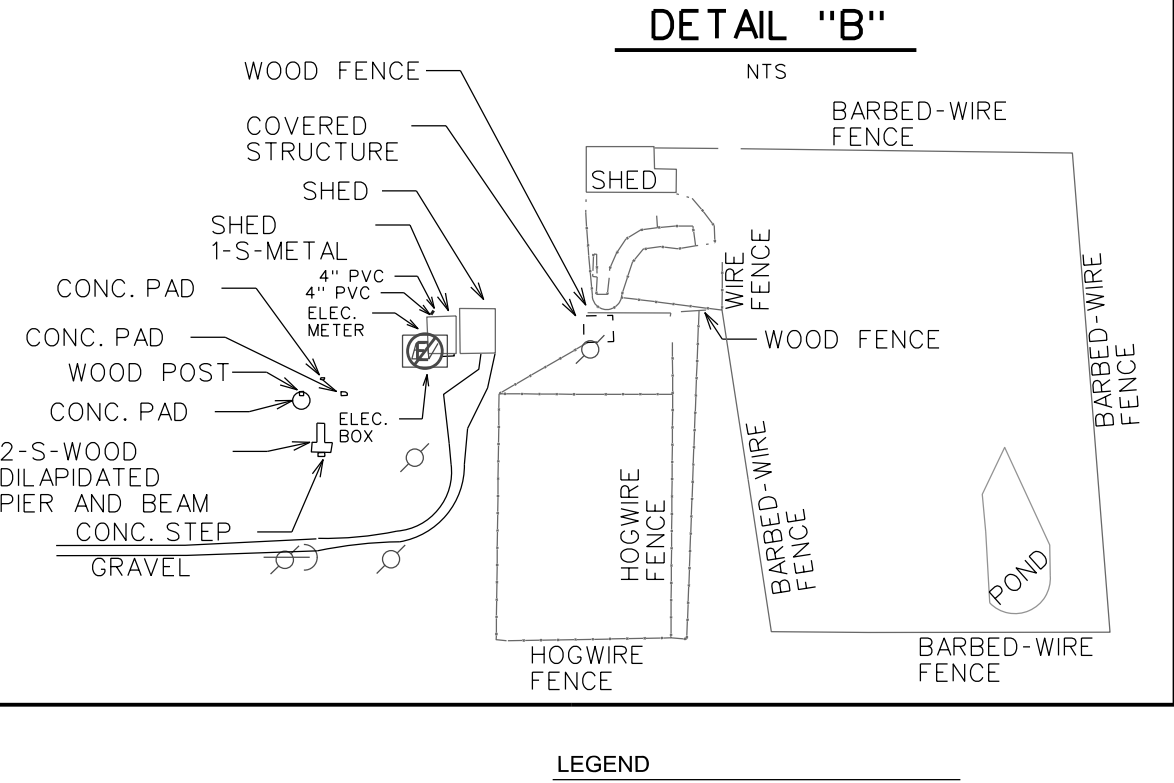
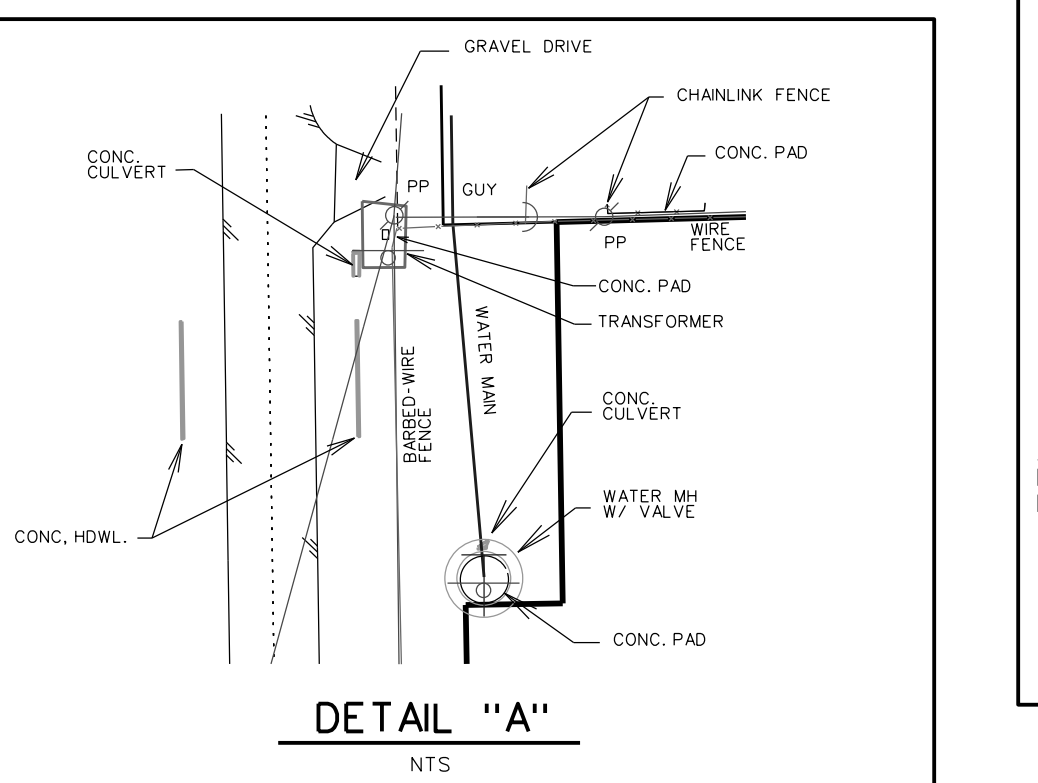
THENCE North 89 degrees 05 minutes 09 seconds East, continuing with the east line of said FM 549, a distance of 29.97 feet to a 5/8-inch iron rod with TxDOT cap found;

THENCE North 00 degrees 54 minutes 51 seconds West, continuing with the east line of said FM 549, a distance of 117.73 feet to the POINT OF BEGINNING and containing 196.008 acres of land.

CERTIFICATION
I do hereby certify that this survey was prepared from an on the ground survey under my supervision on March 9, 2021. This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

PRELIMINARY - FOR REVIEW PURPOSES ONLY

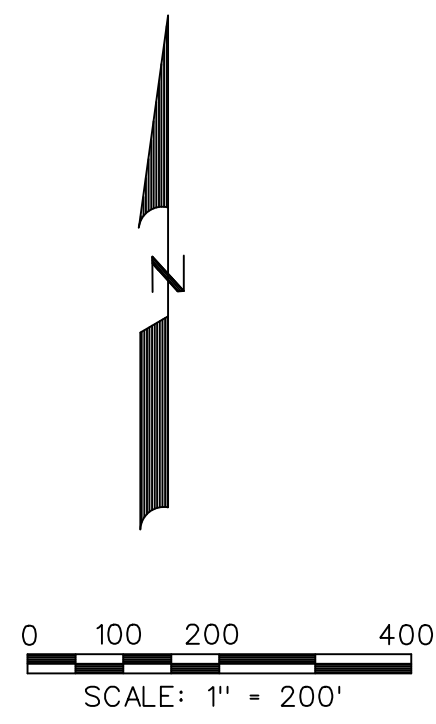
Patrick J. Baldaano
Registered Professional Land Surveyor 5504



- Notes:**
1. Bearing are based on the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983.
 2. Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. PL20-28395, effective date December 27, 2020. Schedule B items are as follows:
 - 10 f. Easement granted to North Texas Municipal Water District, Vol. 4825, Page 148 - cannot be located, no description
 - 10 g. Easement granted to North Texas Municipal Water District, Vol. 5054, Page 202 - shown on survey, referred to as Doc. No. 2007 0377475
 - 10 h. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 238 - shown on survey

BOUNDARY SURVEY
OF A
196.008 ACRE TRACT
OUT OF THE
A. JOHNSON, ABST. NO. 123
AND THE
J.A. RAMSEY, ABST. NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPBLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75015
972-649-6689



LEGEND

TYPICAL LOT SIZES

	- TYPE A LOTS 62' X 120' - 226 LOTS
	- TYPE B LOTS 72' X 120' - 249 LOTS
	- TYPE C LOTS 100' X 120' - 15 LOTS
	- OPEN SPACE - 13.6 Ac.
	- AMENITY CENTER - 1,606 Ac.
	- PARKLAND (REGIONAL PARK) - 50.8 Ac.



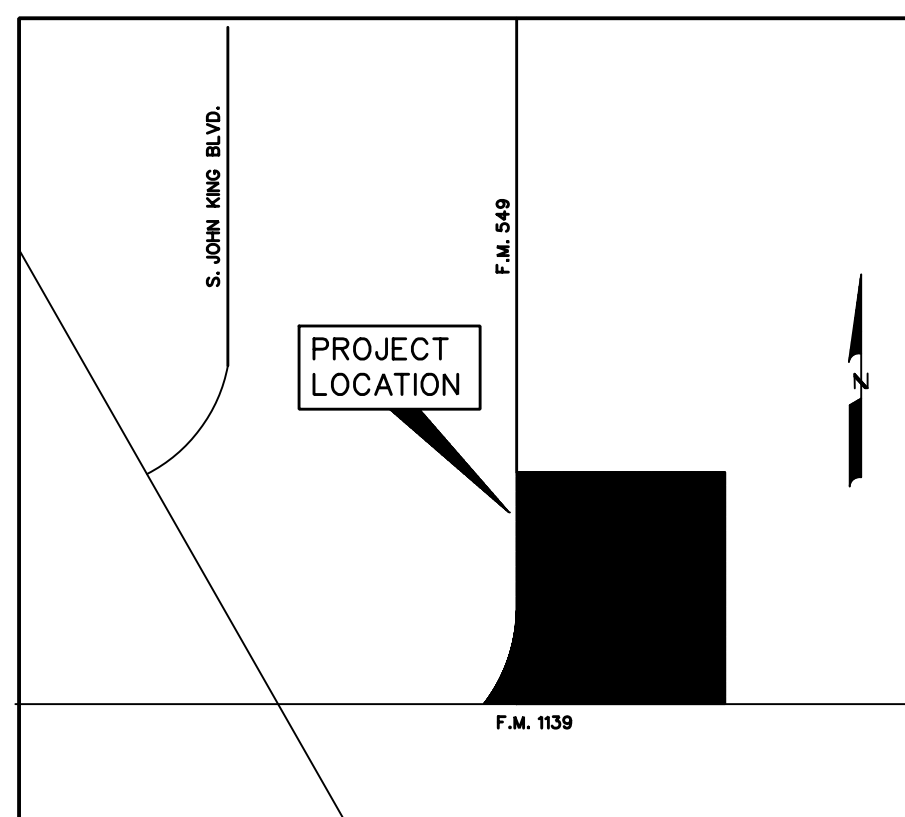
REPRESENTATIVE TRAIL HEAD



REPRESENTATIVE PRIMARY ENTRY MONUMENT



REPRESENTATIVE SECONDARY ENTRY MONUMENT



LOCATION MAP
N.T.S.

TOTAL ACRES	196.009
TOTAL RESIDENTIAL LOTS	490
RESIDENTIAL DENSITY	2.499

CONCEPT PLAN
OF
HOMESTEAD
SITUATED IN THE
J.A. RAMSEY SURVEY, ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OWNER
KLUTTS FARM, LLC.
1604 NORTH HILLS DR.
ROCKWALL, TX 75087
APRIL 2021 SCALE 1" = 200'

16 SOUTH CENTRAL RESIDENTIAL DISTRICT

 = SUBJECT PROPERTY

DISTRICT DESCRIPTION

The *South Central Residential District* contains a mixture of established medium and low density residential subdivisions along with several large vacant tracts of land designated for low density residential land uses. At the center of the district, the Rockwall Independent School District (RISD) acquired a large tract of land that is the home of the new Career Academy School, with potential plans to add a stadium, high school, and middle school to the property in the future. In addition, the realignment of SH-276 will create a major intersection at the corner of SH-205 and SH-276 that is anticipated to be a major commercial corner after the completion of the realignment. Having some of the largest tracts of undivided land, the *South Central Residential District* is an ideal place for low-density master planned communities that are highly amenitized.

POINTS OF REFERENCE

- A. Meadow Creek Estates Subdivision
- B. Hickory Ridge Subdivision
- C. Lofland Farms Subdivision
- D. RISD's Career Academy
- E. Somerset Park Subdivision
- F. Sterling Farms Subdivision
- G. Fontanna Ranch Subdivision
- H. Timber Creek Subdivision

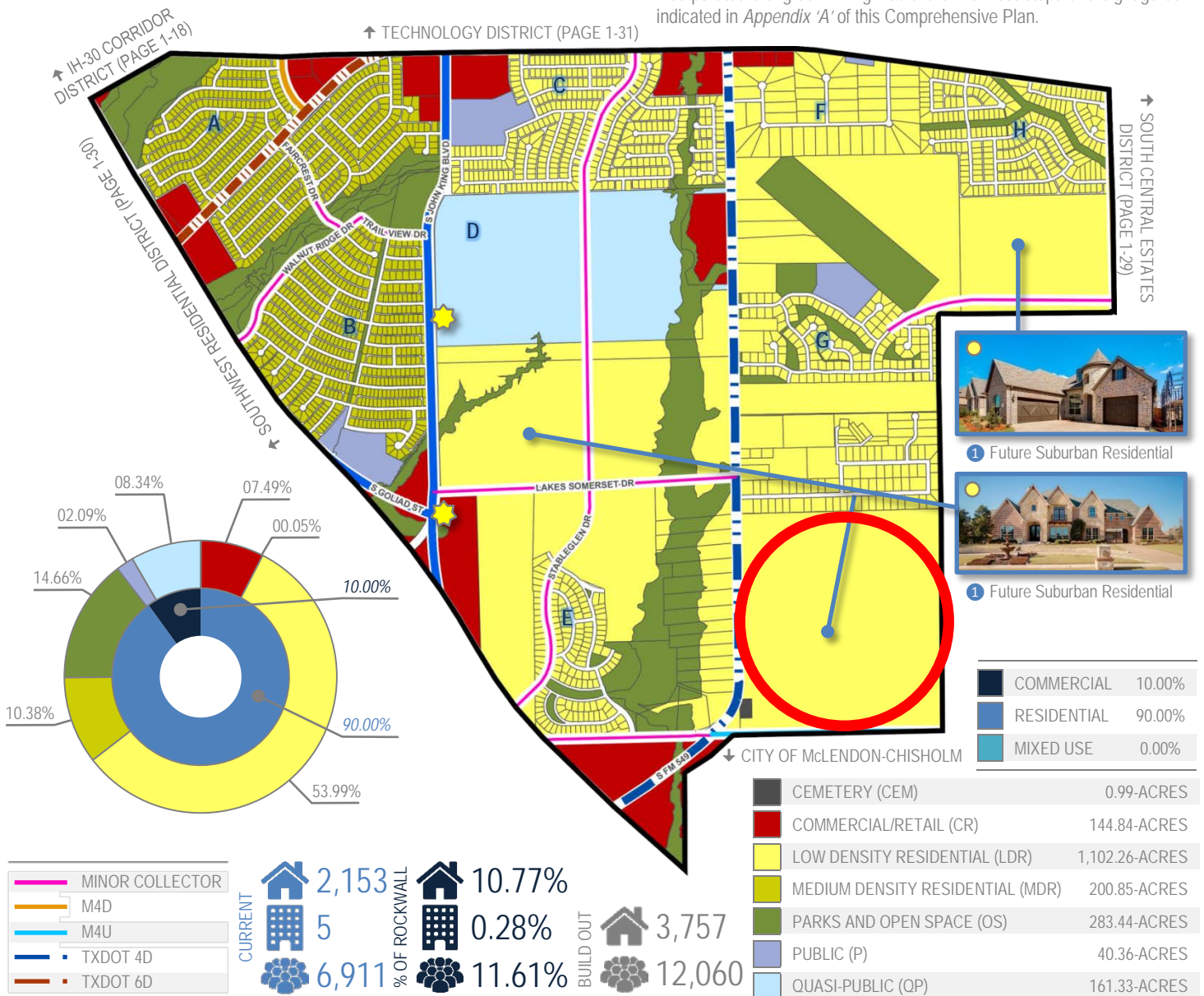
LAND USE PALETTES

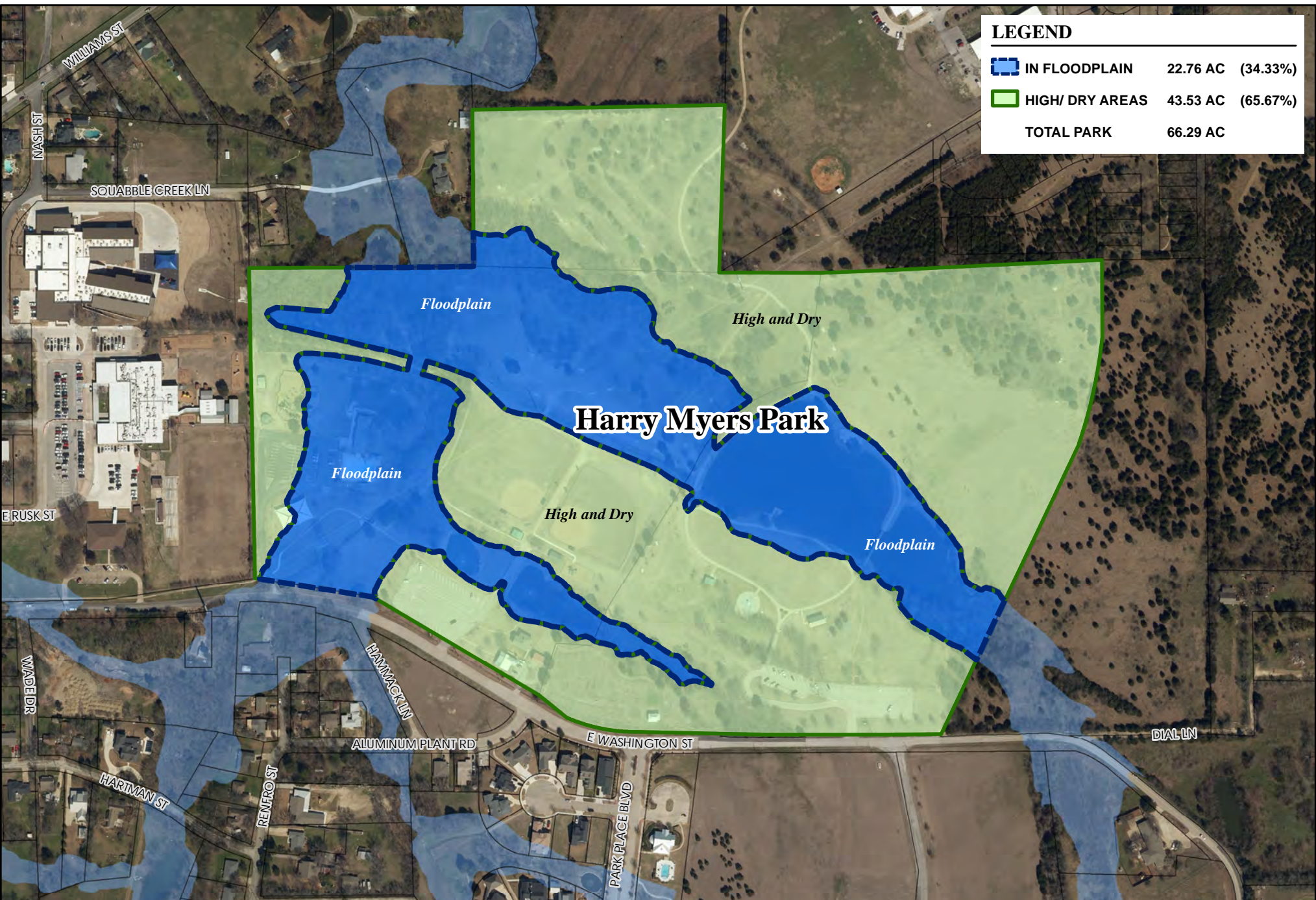
-  Current Land Use
-  Future Land Use
-  John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

DISTRICT STRATEGIES

The *South Central Residential District* is anticipated to add additional suburban developments in the western and southern areas of the district. Taking this into consideration the following are the strategies for this district:

- 1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.
- 2 **Commercial Land Uses.** Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.
- 3 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan.





LEGEND		
	IN FLOODPLAIN	22.76 AC (34.33%)
	HIGH/ DRY AREAS	43.53 AC (65.67%)
	TOTAL PARK	66.29 AC



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

HARRY MYERS PARK

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 196.009-ACRE TRACT OF LAND IDENTIFIED AS TRACT 6 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Harrell of the Skorburg Co. on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses, on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A':
Legal Description

Being a tract of land situated in the John A. Ramsey Survey, Abstract No. 186 and in the Abner Johnson Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being part of a called 200 acre tract described as Tract 1 and part of a called 1.417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in *Document No. 20160000019783*, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being part of a called 200 acre tract described as Tract 1 and part of a called 1.417 acre tract described as Tract 2, in a deed to Klutts Farm, LLC, (50% undivided interest), as recorded in *Document No. 20160000019784*, O.P.R.R.C.T., said tract being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land conveyed to the State of Texas, as recorded in *Document No. 20200000013574*, O.P.R.R.C.T., being in the east line of FM-549 (*variable width right-of-way*) and in the north line of said Klutts Farm;

THENCE North 88 degrees 26 minutes 14 seconds East, with the north line of said Klutts Farm, a distance of 2,790.07-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set the northeast corner of said Klutts Farm;

THENCE South 01 degree 01 minute 34 seconds East, with the east line of said Klutts Farm and the west line of a called 17.07 acre tract described in a deed to Bobby H Butler and Sarah J. Butler, as recorded in *Volume 1381, Page 266*, in the Deed Records of Rockwall County, Texas (D,R,R,C,T.), a distance of 309.76-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set the southwest corner of said Butler tract and the northwest corner of Hillview Acres, an addition to Rockwall County, as recorded in *Volume F, Page 1*, of the Plat Records of Rockwall County, Texas;

THENCE South 00 degrees 31 minutes 05 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Hillview Acres, a distance of 1,446.49-feet to a 1-inch iron pipe found at the southwest corner of said Hillview Acres, being the northwest corner of a called 15.00 acre tract described in a deed of trust for James J. Fuxa and Deborah A. Fuxa, as recorded in *Volume 1741, Page 70*, D.R.R.C.T.;

THENCE South 00 degrees 10 minutes 07 seconds East, continuing with the east line of said Klutts Farm and with the west line of said Fuxa tract, a distance of 792.29-feet to a 1/2-inch iron rod found at the southwest corner of said Fuxa tract, being in the north line of FM-1139 (80-foot right-of-way);

THENCE South 88 degrees 46 minutes 40 seconds West, with the north line of said FM-1139, a distance of 2,230.29-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set;

THENCE South 88 degrees 42 minutes 10 seconds West, continuing with the north line of said FM-1139, a distance of 710.99-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set in the east line of said FM-549;

THENCE North 00 degrees 22 minutes 42 seconds West, with the east line of said FM-549, a distance of 2.77-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set on a curve to the right, having a radius of 293.00-feet and a central angle of 29 degrees 52 minutes 15 seconds;

THENCE with said curve to the right, an arc distance of 152.75-feet (Chord Bearing North 70 degrees 30 minutes 42 seconds West – 151.03 feet), to a 5/8-inch iron rod with TXDOT cap found at the point of tangency;

THENCE North 55 degrees 34 minutes 29 seconds West, continuing with the east line of said FM-549, a distance of 6.30-feet to a 5/8-inch iron rod with TXDOT cap found;

THENCE North 10 degrees 34 minutes 29 seconds West, continuing with the east line of said FM-549, a distance of 18.30-feet to a 5/8-inch iron rod with TXDOT cap found on a non-tangent curve to the left, having a radius of 1,310.00-feet and a central angle of 15 degrees 44 minutes 31 seconds;

Exhibit 'A':
Legal Description

THENCE continuing with the east line of said FM-549 and with said curve to the left, an arc distance of 359.92-feet (*Chord Bearing North 24 degrees 24 minutes 53 seconds East – 358.79 feet*), to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set in the west line of a called one acre tract described in a deed to General Public of the State of Texas, as recorded in *Volume L, Page 15, D.R.R.C.T.*;

THENCE South 00 degrees 22 minutes 48 seconds East, departing the east line of said FM-549 and with the west line of said one (1) acre tract, a distance of 214.30-feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" set at the southwest corner of said one (1) acre tract;

THENCE North 89 degrees 11 minutes 43 seconds East, with the south line of said one (1) acre tract, a distance of 167.02-feet to a 1/2-inch iron rod with red cap stamped "*PJB SURVEYING*" set at the southeast corner of said one (1) acre tract, being in the west line of a 50-foot Easement for Right-Of-Way to North Texas Municipal Water District, as recorded in Volume 5054, Page 202, O.P.R.R.C.T.;

THENCE North 00 degrees 49 minutes 16 seconds West, with the east line of said one (1) acre tract and west line of said 50-foot Easement, a distance of 267.69-feet to a 1/2-inch iron rod with red cap stamped "*PJB SURVEYING*" set at the northeast corner of said one (1) acre tract;

THENCE South 89 degrees 11 minutes 43 seconds West, departing said west line and with the north line of said one (1) acre tract, a distance of 125.09-feet to a 1/2-inch iron rod with red cap stamped "*PJB SURVEYING*" set in the east line of said FM-549;

THENCE North 00 degrees 56 minutes 06 seconds West, with the east line of said FM-549, a distance of 112.36-feet to a 5/8-inch iron rod with TXDOT cap found on a curve to the left, having a radius of 1,310.00-feet and a central angle of 10 degrees 00 minutes 46 seconds;

THENCE continuing with the east line of said FM-549 and with said curve to the left, an arc distance of 228.93-feet (*North 04 degrees 04 minutes 22 seconds East – 228.64 feet*), to a 5/8-inch iron rod with TXDOT cap found at the point of tangency;

THENCE North 00 degrees 56 minutes 00 seconds East, continuing with the east line of said FM-549, a distance of 908.25-feet to a 5/8-inch iron rod with TXDOT cap found;

THENCE North 55 degrees 22 minutes 09 seconds East, continuing with the east line of said FM-549, a distance of 48.05-feet to a 5/8-inch iron rod with TXDOT cap found;

THENCE North 00 degrees 45 minutes 51 seconds East, continuing with the east line of said FM-549, a distance of 50.21-feet to a 5/8-inch iron rod with TXDOT cap found;

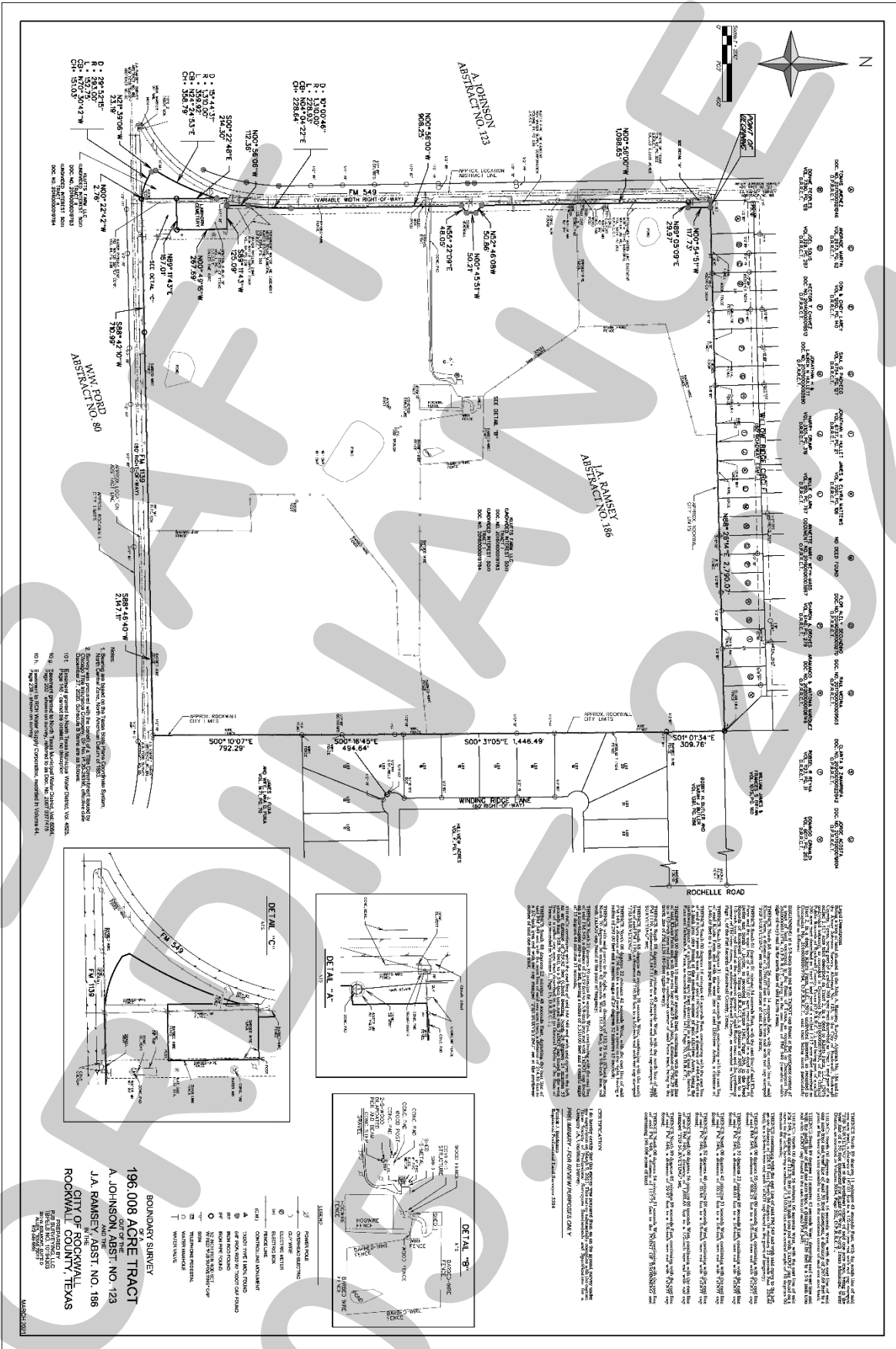
THENCE North 52 degrees 46 minutes 08 seconds West, continuing with the east line of said FM-549, a distance of 50.86-feet to a 5/8-inch iron rod with TXDOT cap found;

THENCE North 00 degrees 56 minutes 00 seconds West, continuing with the east line of said FM-549, a distance of 1,098.56-feet to a 5/8-inch iron rod with TXDOT cap found;

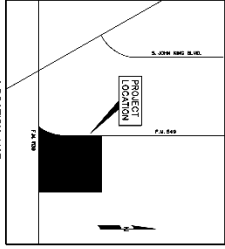
THENCE North 89 degrees 05 minutes 09 seconds East, continuing with the east line of said FM-549, a distance of 29.97-feet to a 5/8-inch iron rod with TXDOT cap found;

THENCE North 00 degrees 54 minutes 51 seconds West, continuing with the east line of said FM-549, a distance of 48.05-feet to the *POINT OF BEGINNING* and containing 196.008 acres of land.

Exhibit 'B':
Survey

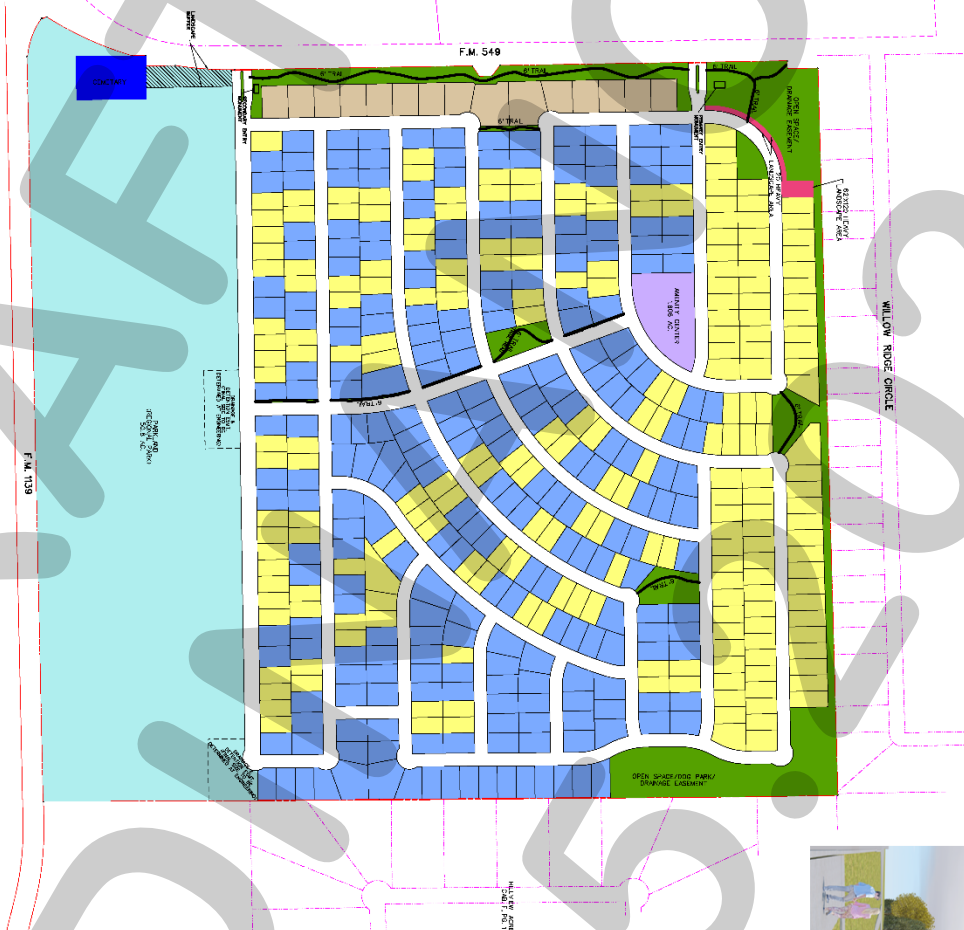
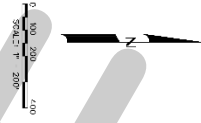


**Exhibit 'C':
Concept Plan**



LEGEND

Track lot sites	- TYPE A LOTS - 62' X 102' - 228 LOTS
	- TYPE B LOTS - 72' X 120' - 240 LOTS
	- TYPE C LOTS - 102' X 120' - 192 LOTS
	- OPEN SPACE - 13.6 AC.
	- AMENITY CENTER - 1,000 AC.
	- PARKING AND RECREATIONAL PARK - 50.8 AC.



TOTAL ACRES 198.009
TOTAL RESIDENTIAL LOTS 490
RESIDENTIAL DENSITY 2.499



REPRESENTATIVE TRAIL HEAD



REPRESENTATIVE PRIMARY ENTRY MONUMENT



REPRESENTATIVE SECONDARY ENTRY MONUMENT

CONCEPT PLAN
HOME STEAD
SUBMITTED IN THE CITY OF ROCKWALL, TEXAS
J.A. RAMSEY SURVEY, ABSTRACT NO. 186
PREPARED BY CORWIN ENGINEERING, INC.
OWNER: KLUTTS FARM, LLC
APRIL 22ND SCALE 1" = 200'
CASE NO. XXXX

Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	226	46.12%
B	72' x 120'	8,640 SF	249	50.82%
C	100' x 120'	12,000 SF	15	03.06%
<i>Maximum Permitted Units:</i>			490	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 8.4 (SF-8.4) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.49 dwelling units per gross acre of land; however, in no case should the proposed development exceed 490 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> ⁽¹⁾	62'	72'	100'
<i>Minimum Lot Depth</i>	120'	120'	120'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	12,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

Exhibit 'D':
Density and Development Standards

⁶: *Type 'A' Lots* that incorporate a *flat-front entry* garage configuration shall be required to have a minimum setback of 25-feet.

(4) *Building Standards*. All development shall adhere to the following building standards:

(a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement.

Examples of Cementitious Fiberboard



(b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

(c) *Garage Orientation and Garage Doors*. This development shall adhere to the following garage design and orientation requirements

(1) *Type 'A' Lots*. The *Type 'A' Lots* (*i.e. the yellow lots depicted in Exhibit 'C'*) may be oriented in a *traditional swing* (*or j-swing*) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing* (*or j-swing*) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional swing* (*or j-swing*) configuration. A maximum of 43.40% of these lots (*i.e. 98 Lots or 20.00% of the total lots*) shall be permitted to be oriented in a *flat-front entry configuration* -- allowing the garage to be flush with the front façade of the primary structure -- pending the front yard setback is increased to a minimum setback of 25-feet.

(2) *Type 'B' & 'C' Lots*. The *Type 'B' & 'C' Lots* (*i.e. blue and tan lots depicted in Exhibit 'C'*) may be oriented in a *traditional swing* (*or j-swing*) garage configuration -- where the two (2) car garage is stated facing the side property

Exhibit 'D':
Density and Development Standards

line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Wood Garage Door



- (5) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see Figures 3 & 4 below*).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	100' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or FM-549 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

Exhibit 'D':
Density and Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is

Exhibit 'D':
Density and Development Standards

constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways (*i.e. FM-549*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(7) *Landscape and Hardscape Standards*.

- (a) *Landscape*. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) *Landscape Buffer and Sidewalks (FM-549)*. A minimum of a 30-foot landscape buffer shall be provided along FM-549 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer to the edge of the *Public Park*. This landscape buffer shall terminate at the *Longhorn Cemetery*, which is identified as *Cemetery on Exhibit 'C'*. The general location of this landscape buffer

Exhibit 'D':
Density and Development Standards

permitted on the *Public Park* is depicted in the crosshatched area on *Exhibit 'C'*.

- (2) *Landscape Buffers (Northern Property Line)*. A minimum of a 30-foot landscape buffer shall be provided along the northern property boundary. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers along the entire northern property boundary. An alternative screening plan proposing the use of existing trees, for the area directly adjacent to northern property line, may be submitted by the developer with the PD Site Plan. This alternative plan can be approved at the discretion of the Planning and Zoning Commission upon a finding that the proposed plan will provide adequate screening that is equal to or exceeds the standards stated in this section.
- (3) *Landscape Buffer (Adjacent to the Properties Along the Northern Boundary)*. A heavy landscape area (*i.e. indicated in dark pink in Exhibit 'C' and labeled as a "62' x 120' Heavy Landscape Area" and "20' Heavy Landscape Area"*) shall be provided adjacent to the northern properties. This landscape area shall consist of a minimum of canopy trees, accent trees, and shrubs and shall be reviewed for conformance with the *PD Site Plan*.
- (c) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), three (3) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), three (3) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

Exhibit 'D':
Density and Development Standards

- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (*or a minimum of 39.2018-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'C'* of this ordinance. In addition, the following shall apply to the proposed open space and public park areas:
- (a) Public Park. The development shall incorporate a minimum of a 50-acre contiguous tract of land to the City of Rockwall -- *identified as "Regional Park" in Exhibit 'C'* -- for the provision of a public park. The proposed dedication of land shall be in lieu of the required cash-in-lieu of land fees required by Article II, *Parkland Dedication*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances; however, the developer shall be required to pay the pro-rata equipment fees as required by the ordinance, which shall be used to amenitized the proposed public park. To accommodate the development, the City shall grant temporary grading and permanent drainage and detention easements as necessary to develop the residential portions of the property in accordance with City requirements. The City shall have the right to relocate said easements granted in connection with the residential development -- *at no cost to the residential developer* -- such that the City may develop the public park in accordance with the City's desired use. Performance of the obligations under this subparagraph shall be deemed fully to satisfy the City's open space requirements stipulated by the OURHometown Vision 2040 Comprehensive Plan.
- (b) Open Space. All open space areas not dedicated as part of the public park (*including landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (13) Amenity Center. An amenity center shall be constructed in generally the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan* and may incorporate materials from the historic farmhouse -- *which currently situated on the property* -- without requiring variances to the material requirements contained in this ordinance or the Unified Development Code (UDC).

Exhibit 'D':
Density and Development Standards

- (14) *Dog Park*. The proposed dog park shall provide two (2) separate areas for large dogs and small dogs. A six (6) foot, vinyl coated chain link fence shall be required around the perimeter of the dog park and separating the two (2) areas. A double gate system shall be installed to reduce the chance of dogs escaping owners when leaving or entering the off-leash area. Self-closing gates shall be used to aid in keeping dogs from escaping owners. Waste disposal stations shall be provided for the two (2) separate areas. All areas of the dog park including restocking the waste disposal stations shall be the responsibility of the Homeowner's Association (HOA). In addition, all activities in the proposed dog park shall be subject to Article X, *Dog Parks*, of Chapter 6, *Animals*, of the Municipal Code of Ordinances.
- (15) *Trails and Trailhead*. A concrete trail system and trailhead shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity to the proposed *Public Park*. The proposed trailhead should be of a similar design and quality as the trailhead depicted in *Exhibit 'C'*.
- (16) *Neighborhood Signage and Enhancements*. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*; however, the signage should be equal to or better than the representative signage depicted in *Exhibit 'C'*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (17) *Homeowner's Association (HOA)*. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. In addition, the HOA shall be responsible for maintaining any drainage areas on the public park that are necessary to provide sufficient stormwater detention for the residential lots. These areas are required to be delineated on the *PD Site Plan*.
- (18) *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 15, 2021
APPLICANT: Jason Castro
CASE NUMBER: Z2021-015; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. On April 13, 1960, the subject property was platted as Lot 6 of the Harris Addition. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. The subject property is currently vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes that are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. Block 108 of the B F Boydston Addition) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre tract of land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) and [2] a 2.6-acre tract of land (i.e. Tract 65 of the R. Ballard Survey, Abstract No. 29). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consist of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the duplex proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Duplex
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the duplex will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 1,408 SF & Unit #2, 1,8921 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Farm House Architecture
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	A one (1) car garage will be attached to Unit #2, and is 6' 8" behind the front façade. Unit #1 will have a carport that is flush with the front façade.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In addition, Section 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states, "(t)wo off-street parking spaces plus one (1) garage parking space for each dwelling unit is required." In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for Unit #2*) that sets back approximately 6' 8" from the front façade. Unit #1 will have a carport that is integrated with the front porch and is flush with the front façade of the duplex. According to the applicant's architect, the carport is to provide a visually similar appearance to the existing housing stock, which have front facing one (1) car garages (*or no garage*). With this being said, if approved the Planning and Zoning Commission and City Council will be waiving the following: [1] no garage being provided for *Unit #1*, and [2] a garage that does not meet the required garage orientation requirements (*i.e. that is not setback 20-feet from the front façade*). Staff should note that this garage orientation is not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway; however, these are single-family homes and no other duplexes exist without garages in the general area. With the exception of the aforementioned waivers, the proposed duplex meets all of the density and dimensional requirements stipulated for a property in a Two-Family (2F) District as required by the Unified Development Code (UDC). For the purpose of comparing the proposed duplex to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of the architecture and waivers for this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed duplex will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 20, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Three (3) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a duplex on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT **6** BLOCK _____

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING _____

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Castro Development LLC**

APPLICANT _____

CONTACT PERSON **Jason Castro**

CONTACT PERSON _____

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS _____

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP _____

PHONE **214.232.2750**

PHONE _____

E-MAIL **jason@castropropertygroup.com**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 _____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20 ____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

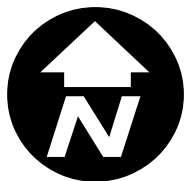
MY COMMISSION EXPIRES _____



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

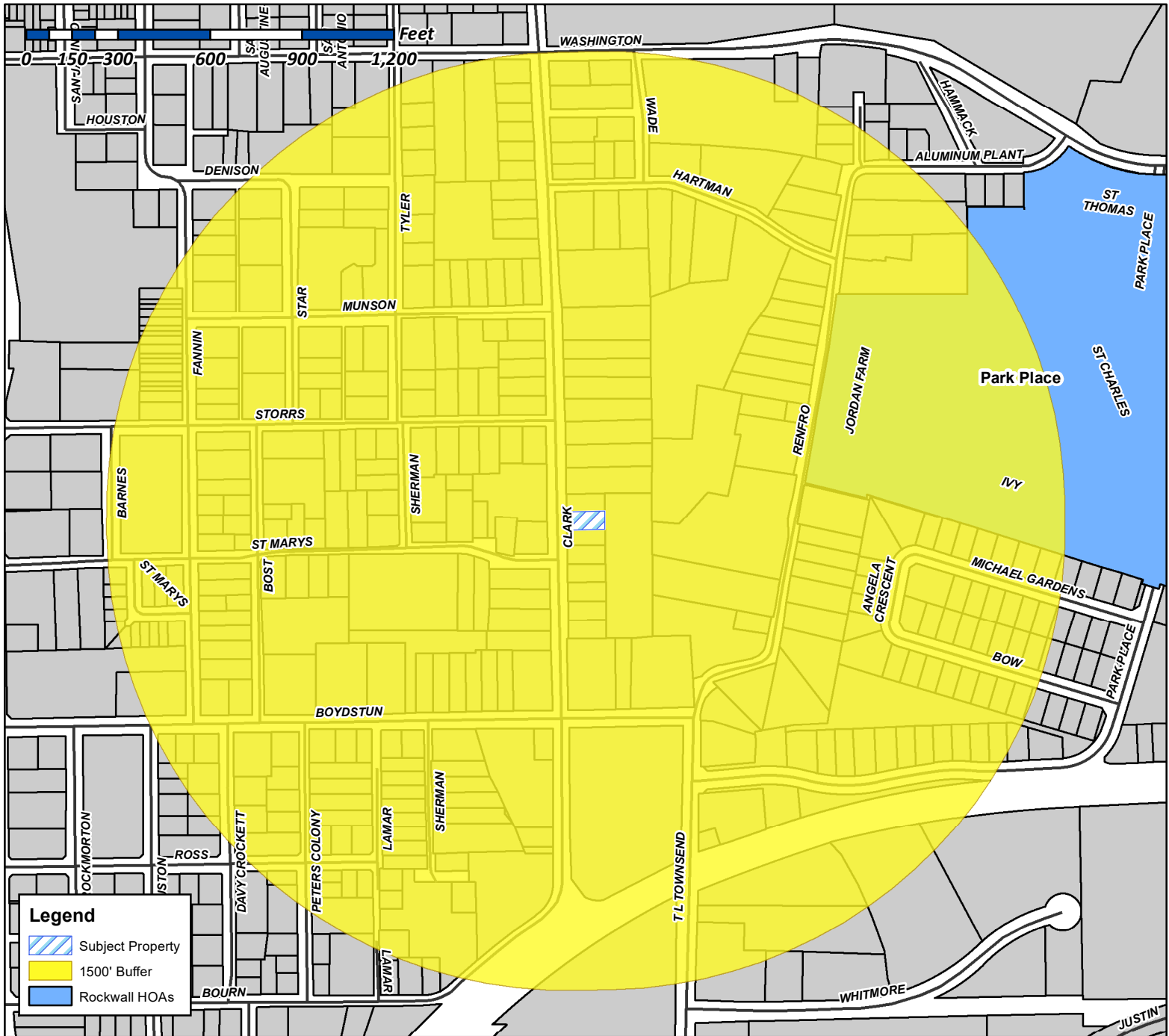
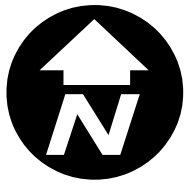




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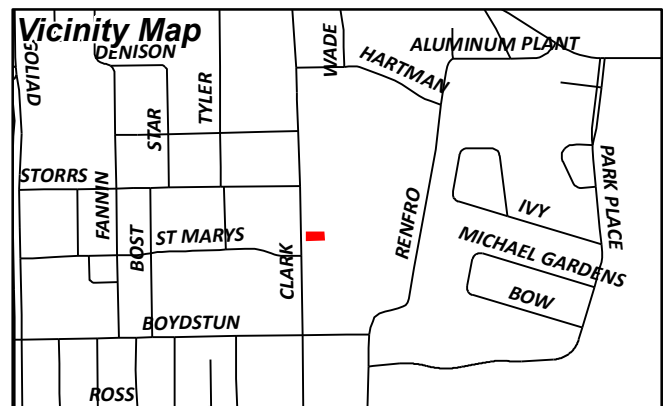
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-015]
Attachments: HOA Map Z2021-015.pdf; Public Notice (05.20.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 21, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 15, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 21, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-015 SUP for Residential Infill at 511 S. Clark Street

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

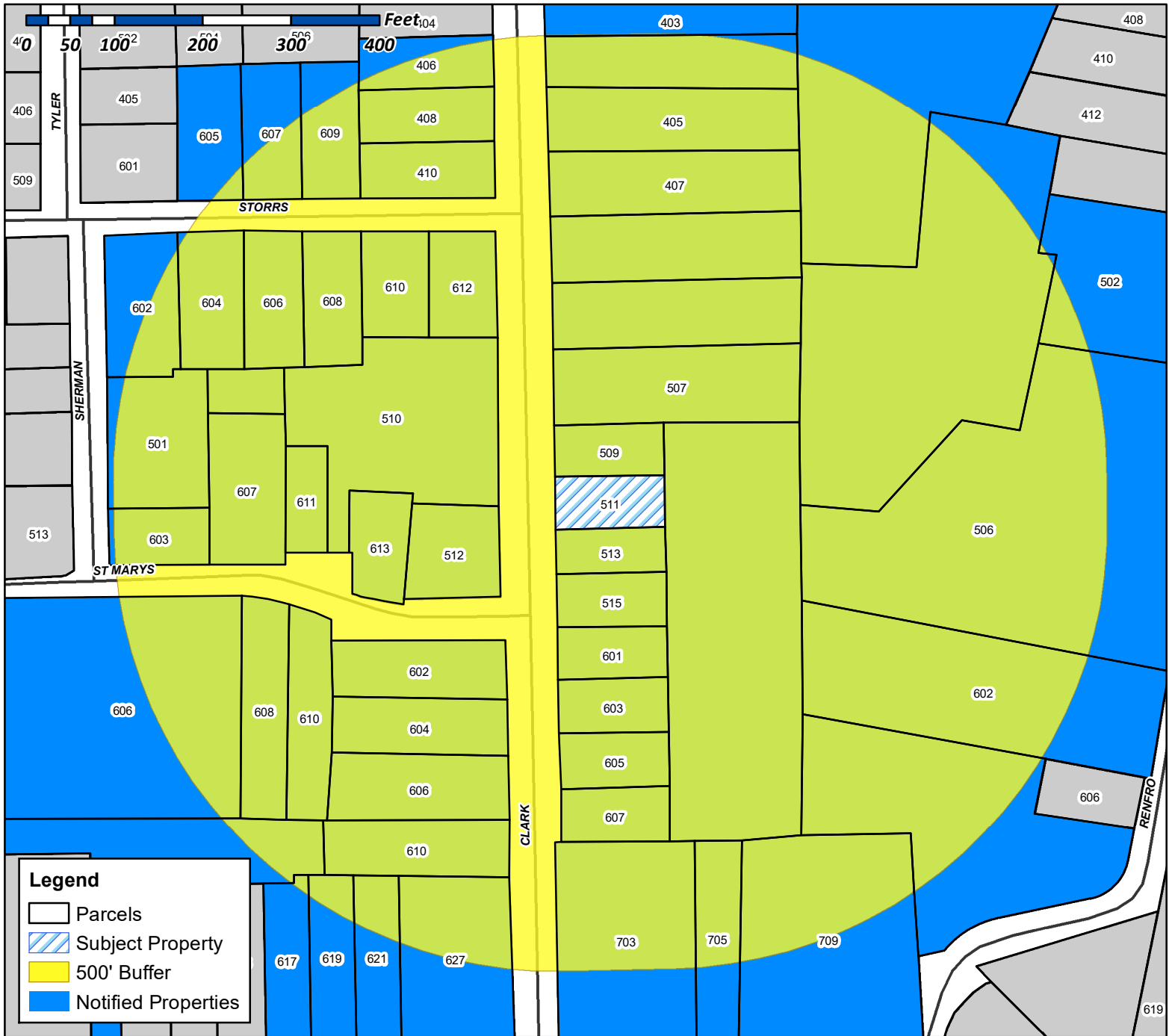
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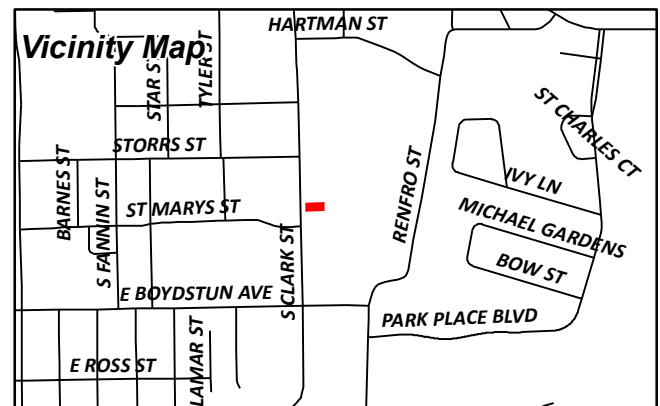
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street



Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



= RESPONSE RECEIVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-015: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-015: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

We are opposed to the request for building more duplexes in our neighborhood. We have several new homes in our neighborhood and others that are being renovated. Duplexes and more rental properties will not be a good decision for this area.

Name: Amy & Wes Davis

Address: 1606 Storrs Street Rockwall TX 75087

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Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

ALL HOUSES ON CLACK ARE SINGLE FAMILY HOMES. LOT DOES NOT SEEM TO BE OF A SIZE TO ACCOMODATE A DUPLEX. ALREADY TOO MANY DUPLEXES IN THIS AREA OF OLD TOWN.

Name: MICHAEL JAMGOCHIAN
Address: 602 STORRS ST ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I don't think a duplex would help the property values in this area so I am opposed to this sub.

Name:

Sherri Johnston

Address:

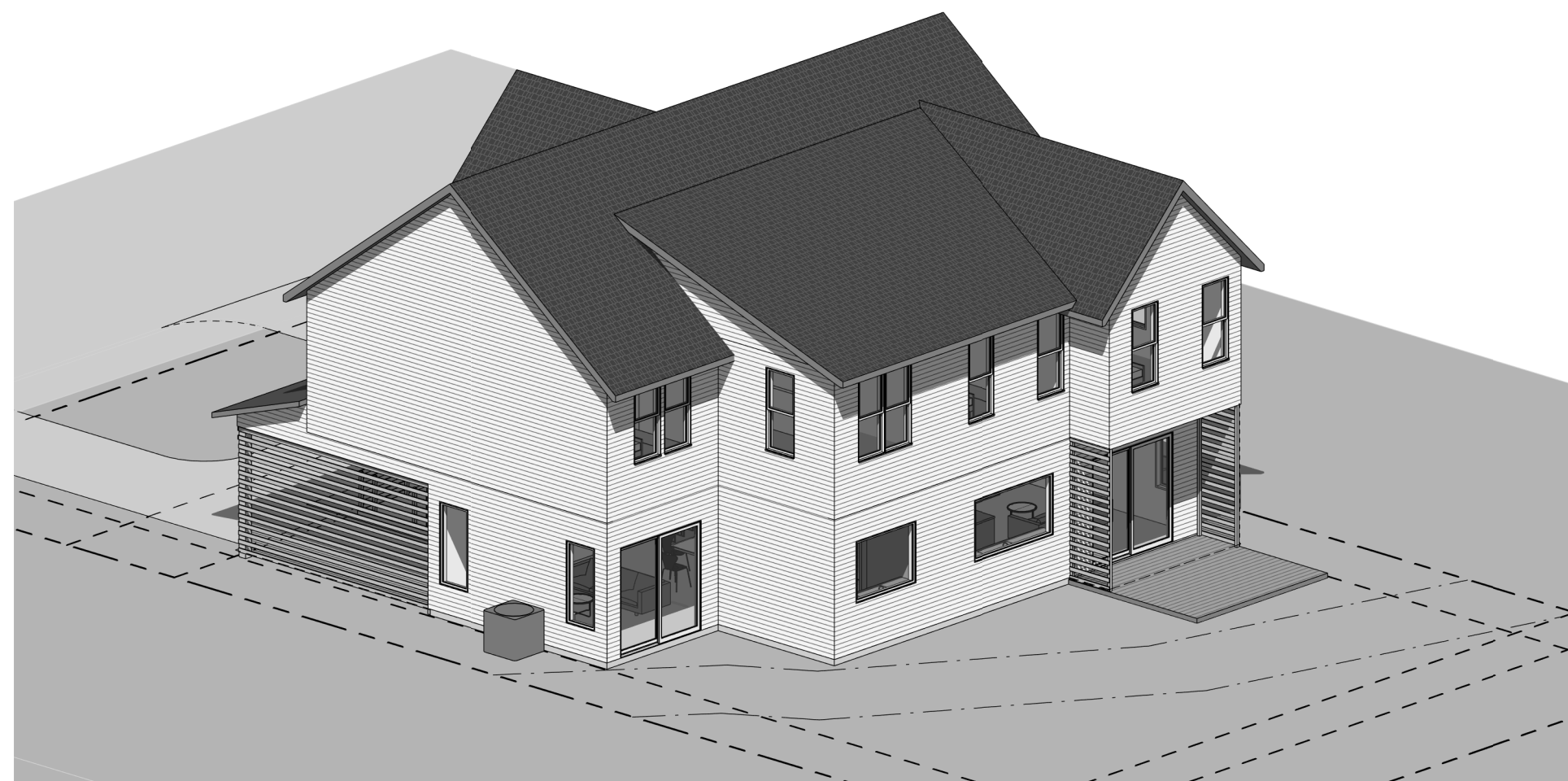
610 Storr Street Rockwall 75087

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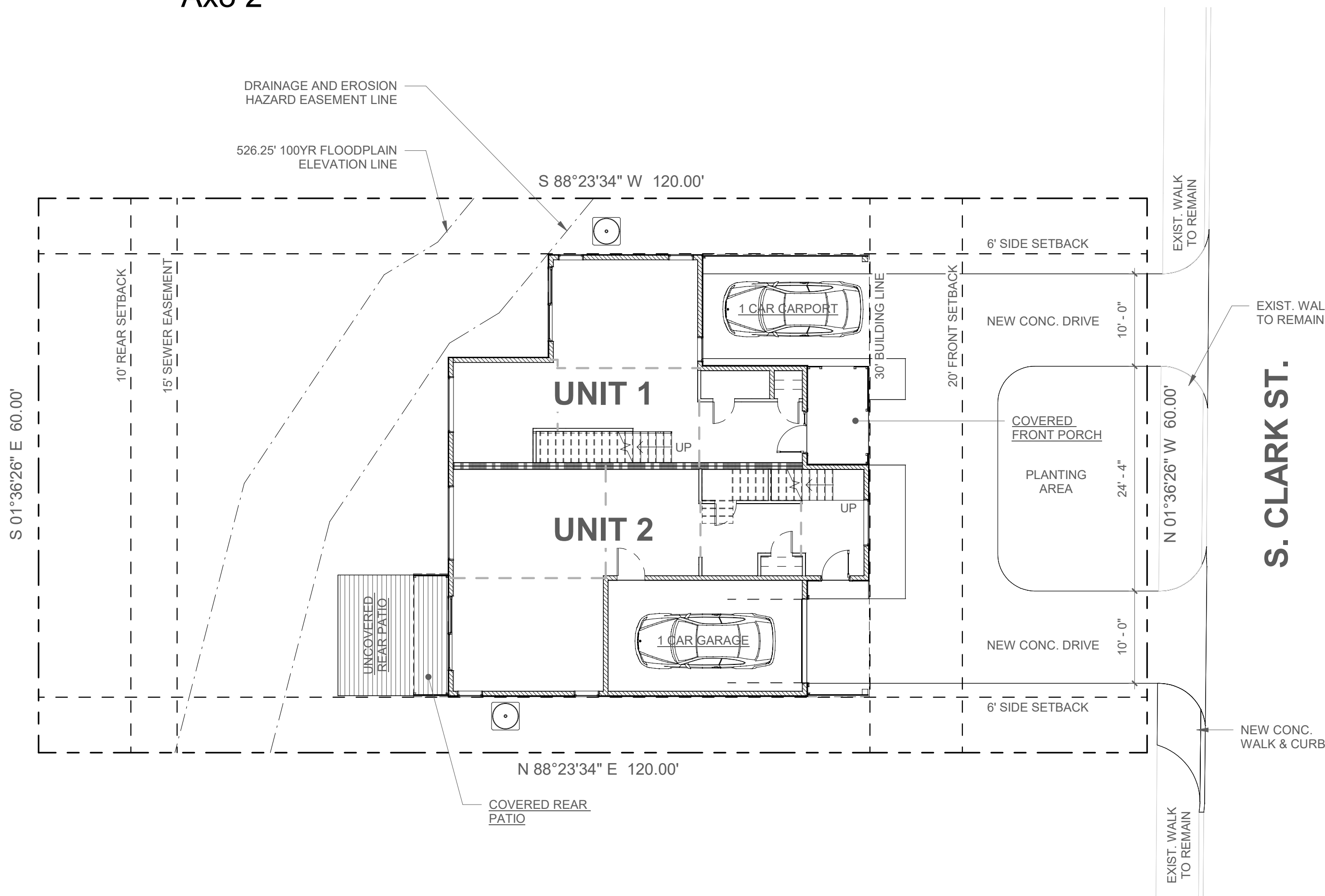
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Axo 1



Axo 2

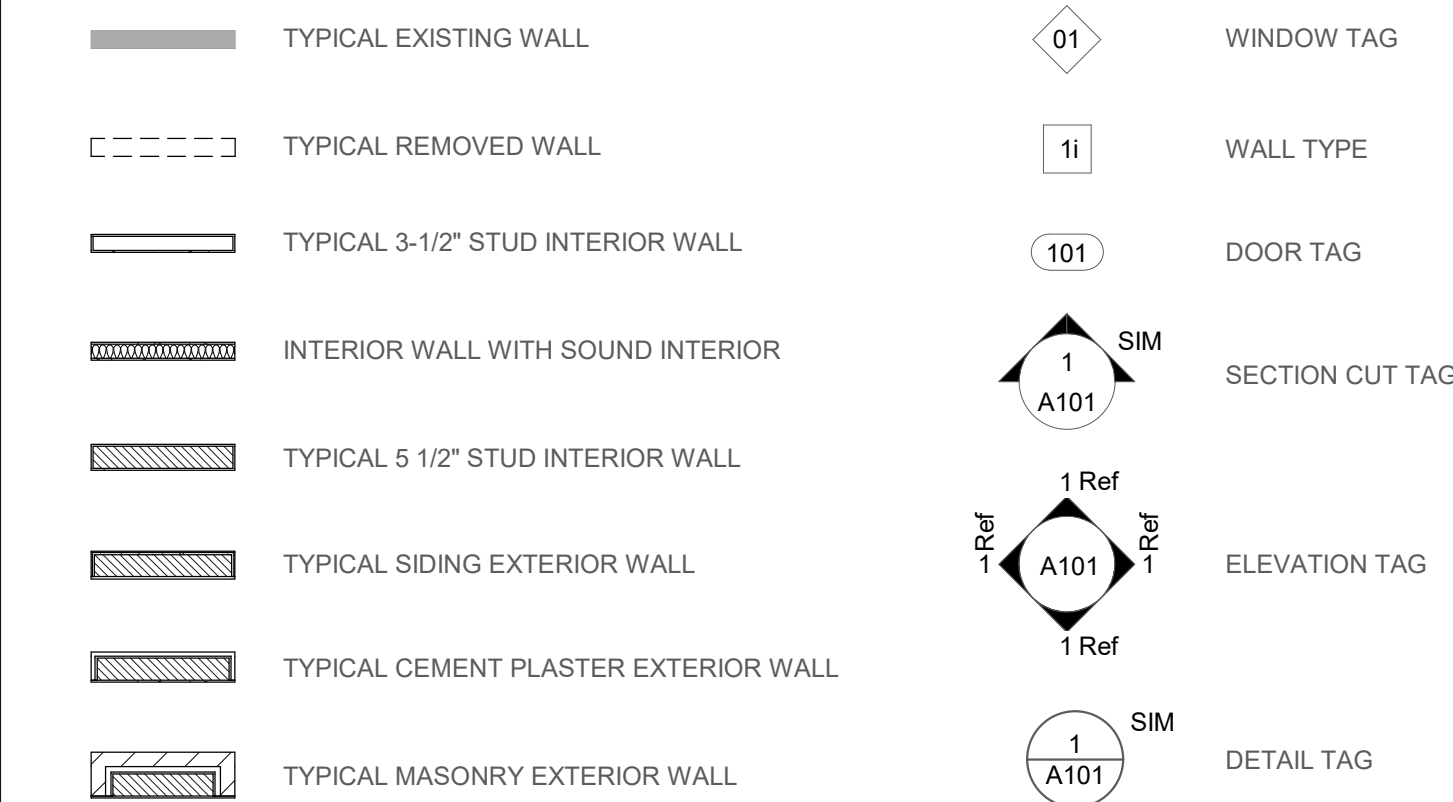


1 SITE PLAN
1" = 10'-0"

GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRVING/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED; REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R12 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND



LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER
CASTRO DEVELOPMENT
1006 CLERMONT ST.
DALLAS, TX 75223

ARCHITECT
OBJECT & ARCHITECTURE
4815 TERRY STREET
DALLAS, TX 75223

CONTACT:
JASON CASTRO
214.232.2750
JASON@CASTROPROPERTYGROUP.COM

CONTACT:
RYAN M. WITHROW
214.240.1995
RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE

ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087

CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY

LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLX)

FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.
TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

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SHEET ISSUE DATE:
01/15/2021

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ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN



G-100

S 01°36'26" E 60.00'

10' REAR SETBACK

15' SEWER EASEMENT

DRAINAGE AND EROSION
HAZARD EASEMENT LINE
526.25' 100YR FLOODPLAIN
ELEVATION LINE

UNCOVERED
REAR PATIO

COVERED REAR
PATIO

N 88°23'34" E 120.00'

S 88°23'34" W 120.00'

UNIT 2

UNIT 1



UP

UP

30' BUILDING LINE

20' FRONT SETBACK

6' SIDE SETBACK

NEW CONC. DRIVE

10' - 0"

COVERED
FRONT PORCH
PLANTING
AREA

24' - 4"

NEW CONC. DRIVE

10' - 0"

6' SIDE SETBACK

N 01°36'26" W 60.00'

EXIST. WALK
TO REMAIN

EXIST. WALK
TO REMAIN

S. CLARK ST.

NEW CONC.
WALK & CURB

EXIST. WALK
TO REMAIN



1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021

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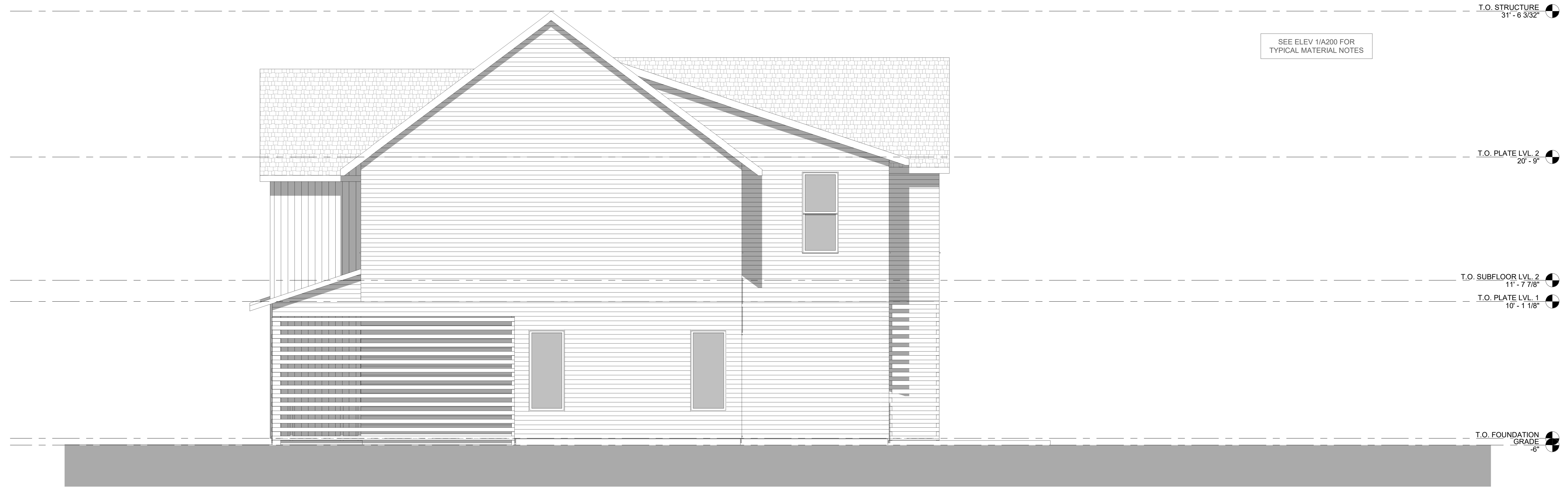
**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

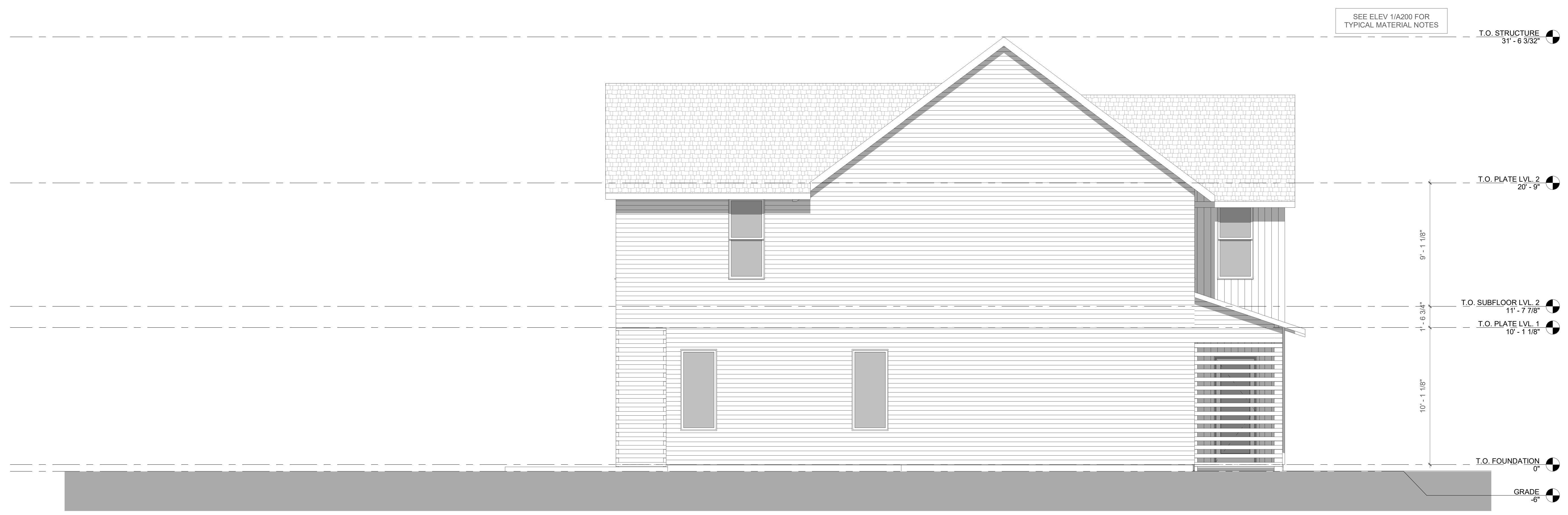
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021

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**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201

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GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

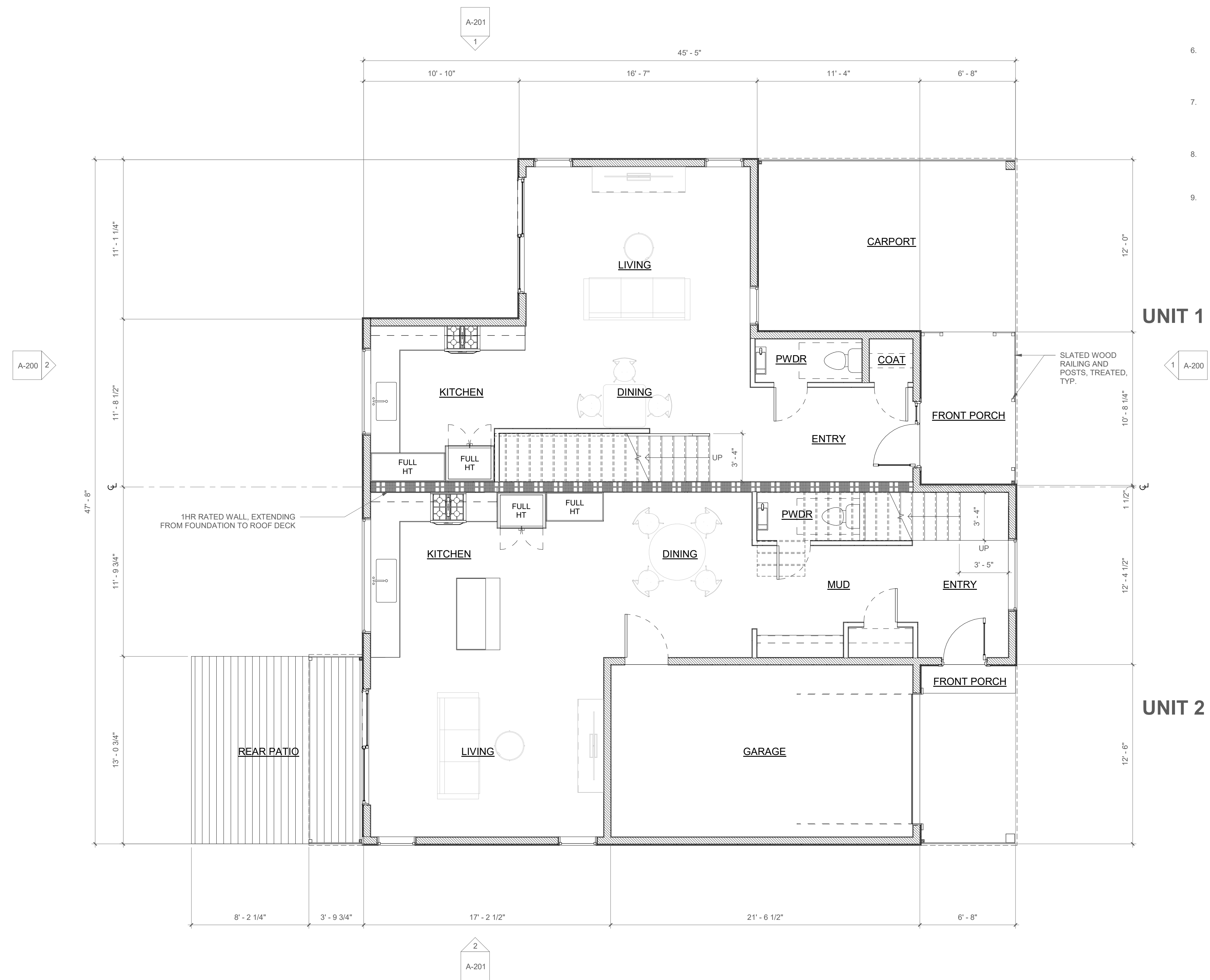
01/15/2021

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ARCHITECT

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00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR
PLAN



THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OBJ ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED WITHOUT THEIR CONSENT.

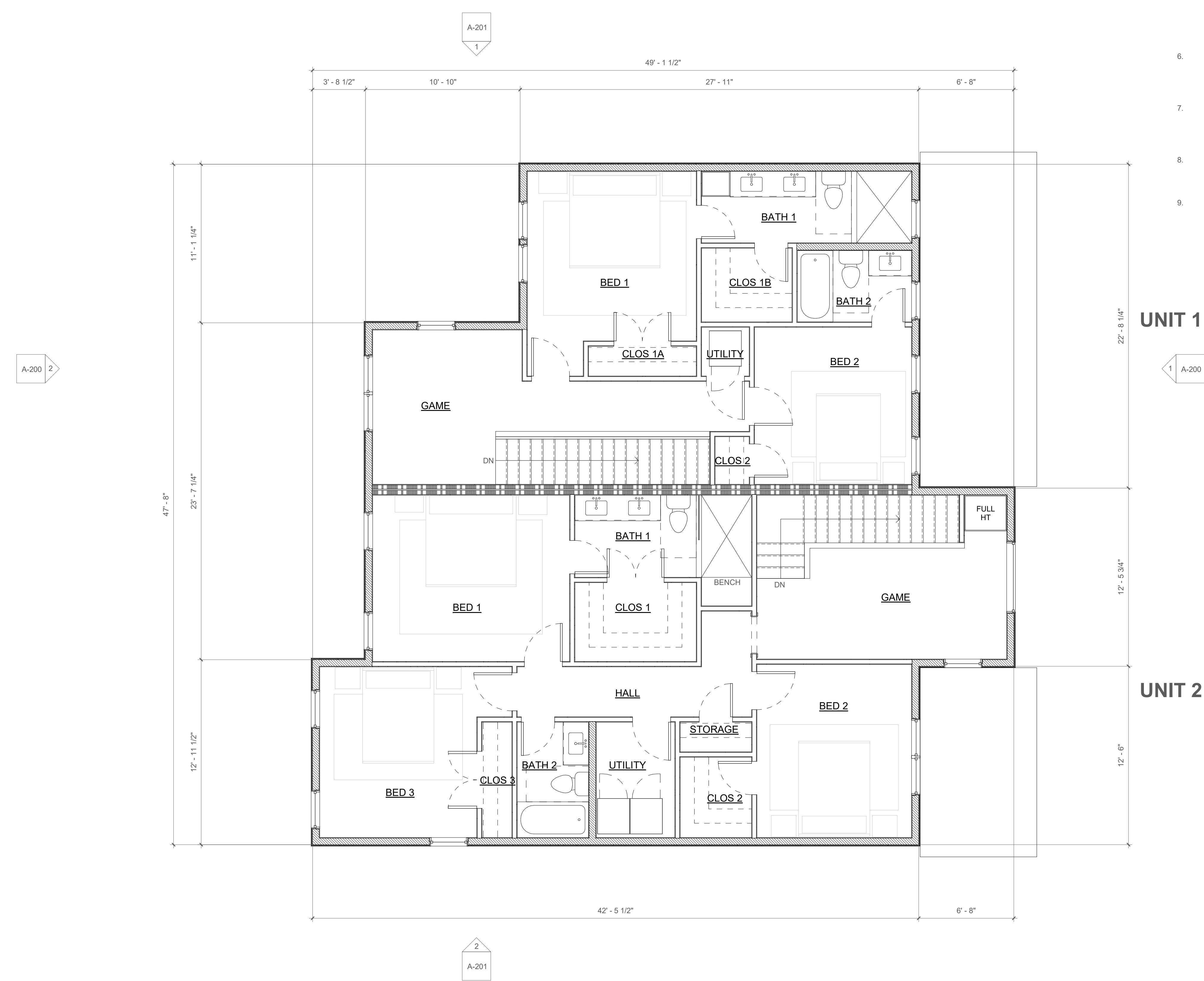
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SHEET ISSUE DATE
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Dallas, Texas 75223
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1 SECOND FLOOR PLAN
1/4" = 1'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

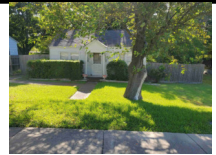
LEVEL 2 FLOOR PLAN





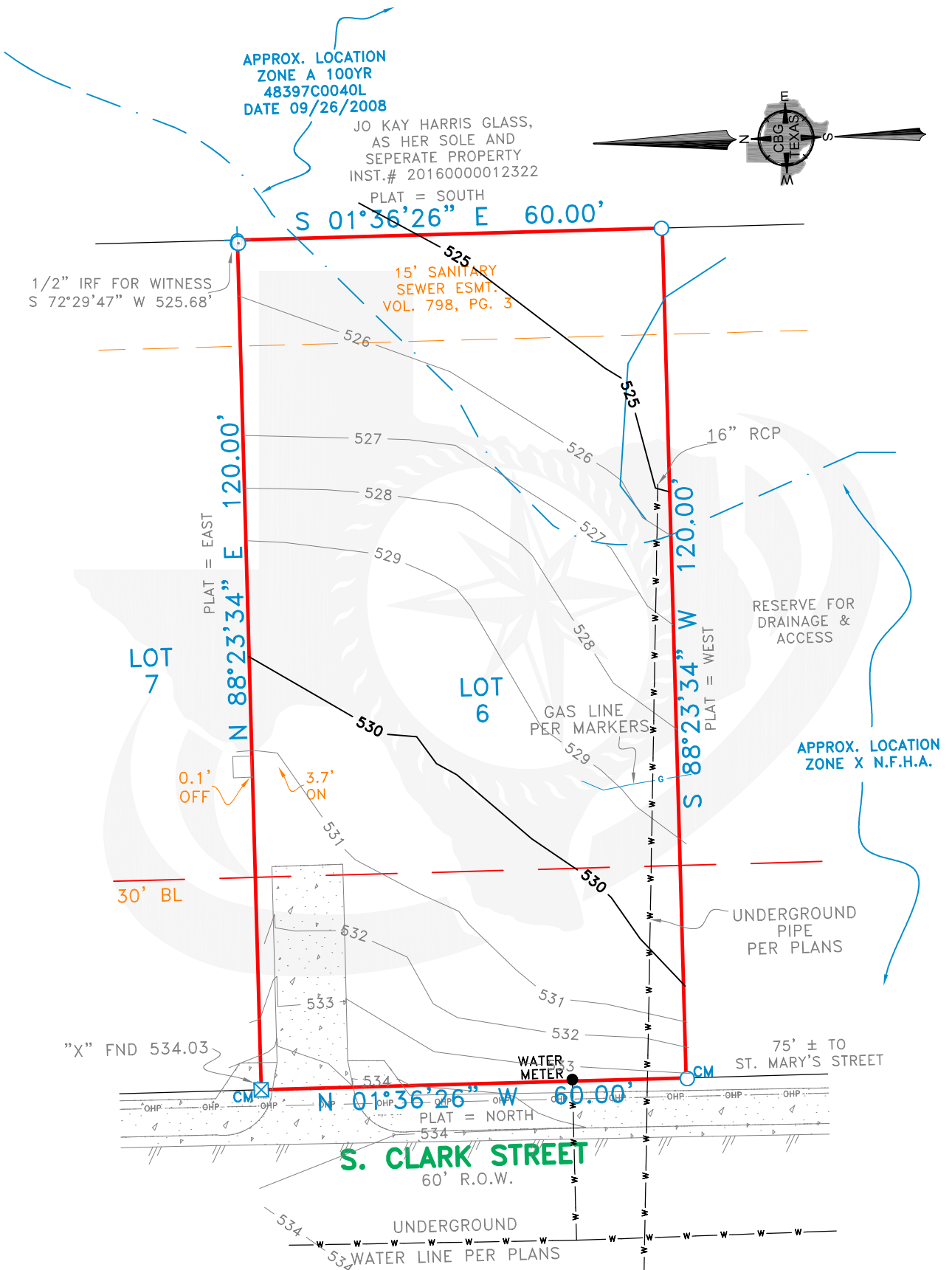
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊠ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- |— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- //— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83 TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

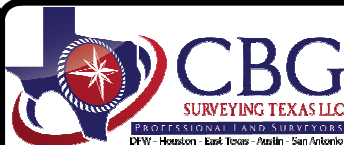
Drawn By: EAN

Scale: 1" = 20'

Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxl.com



Accepted by: _____
Date: _____
Purchaser

Accepted by: _____
Date: _____
Purchaser

Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945

Explanation of Site Hardships

Request

We are requesting two ordinance requirements be waived for the development of a two-family residence at 511 S. Clark Street so that the site may be developed to its highest and best use and to develop the site commensurately with the surrounding area. The first ordinance requirement we are requesting to be waived is a required 20 ft. setback from the front facade of the residence to the front facing garage. The second ordinance requirement we are requesting to be waived is the requirement that two off-street parking spaces be located in a garage.

Context

The property is located in a Two-Family Zoning district and the lot size is 7,200 sqft per the survey submitted with this application packet. The site slopes gradually away from Clark Street to the rear of the site. A large portion of the site is located within the 100-yr floodplain. We have worked with P&Z and Engineering during our design and SUP process and Engineering set the floodplain line as well as the additional 10' erosion control setback line. We re-designed our initial submittal to conform to this setback line.

Explanations

1. The size of the 100-yr floodplain line and the erosion control setback line significantly affects the ability of the lot to be developed commensurate with the surrounding area and to the standard size of residence that today's market expects. The 100-yr floodplain plus the erosion control setback line covers 31.6% of the lot. This lot also requires a 30' Building Line setback from the front property line. The front setback (including the 30' Building Line) plus the side yard setbacks not within the floodplain or erosion control setback covers 33.0% of the lot. This leaves the lot with only 35.3% of the lot leftover as buildable area.
2. The irregular shape of the floodplain significantly affects the ability of the lot to be developed, especially when considering the most efficient and effective way of configuring the required fire separation walls for two family dwellings is to build the separation wall in a straight line. As can be seen in Image 1 below, the shape of the floodplain and erosion control setback line affect our ability to adequately design an L-shaped driveway which would obscure the garage door from view of the street. Therefore, front facing garages create the most efficient layout to develop this lot. However, the requirement of setting the garage 20' from the front facade is not possible in the garage layout shown in Image 1.

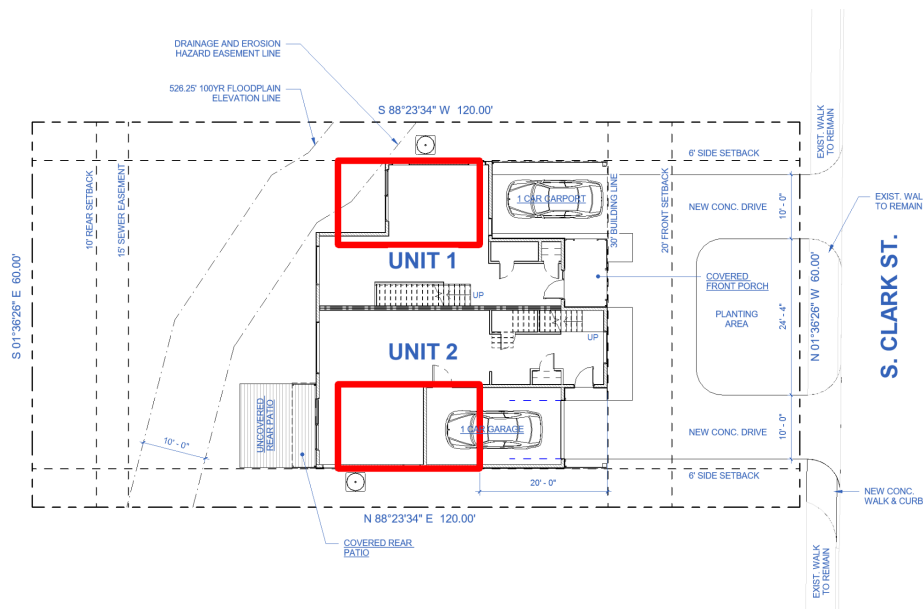


Image 1

In Image 2 below we've shown that grouping both garages together would comply with the 20' garage setback requirement and not be within the erosion control setback line, but due to the shape of the floodplain line a two car garage eats up a significant amount of the buildable area and is highly restrictive for creating an efficient and useful two family residence layout.

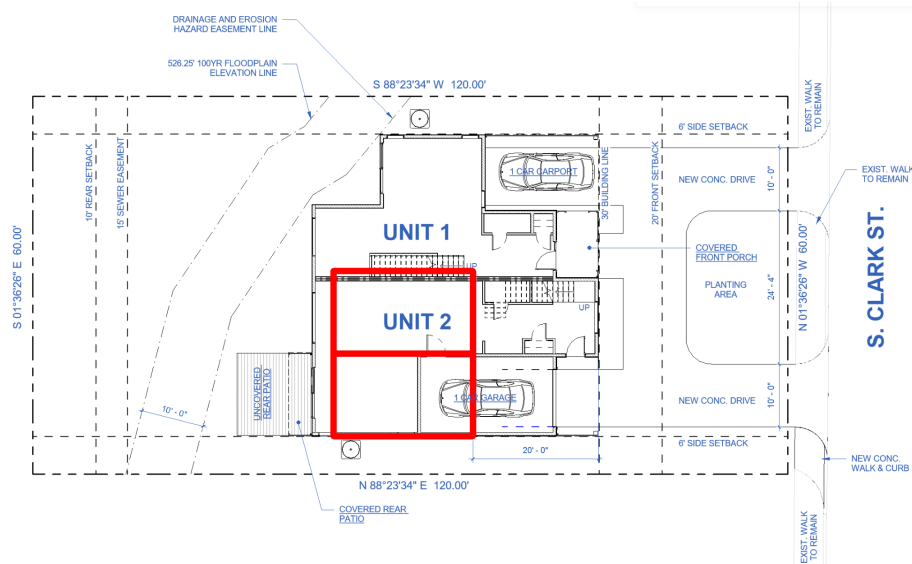


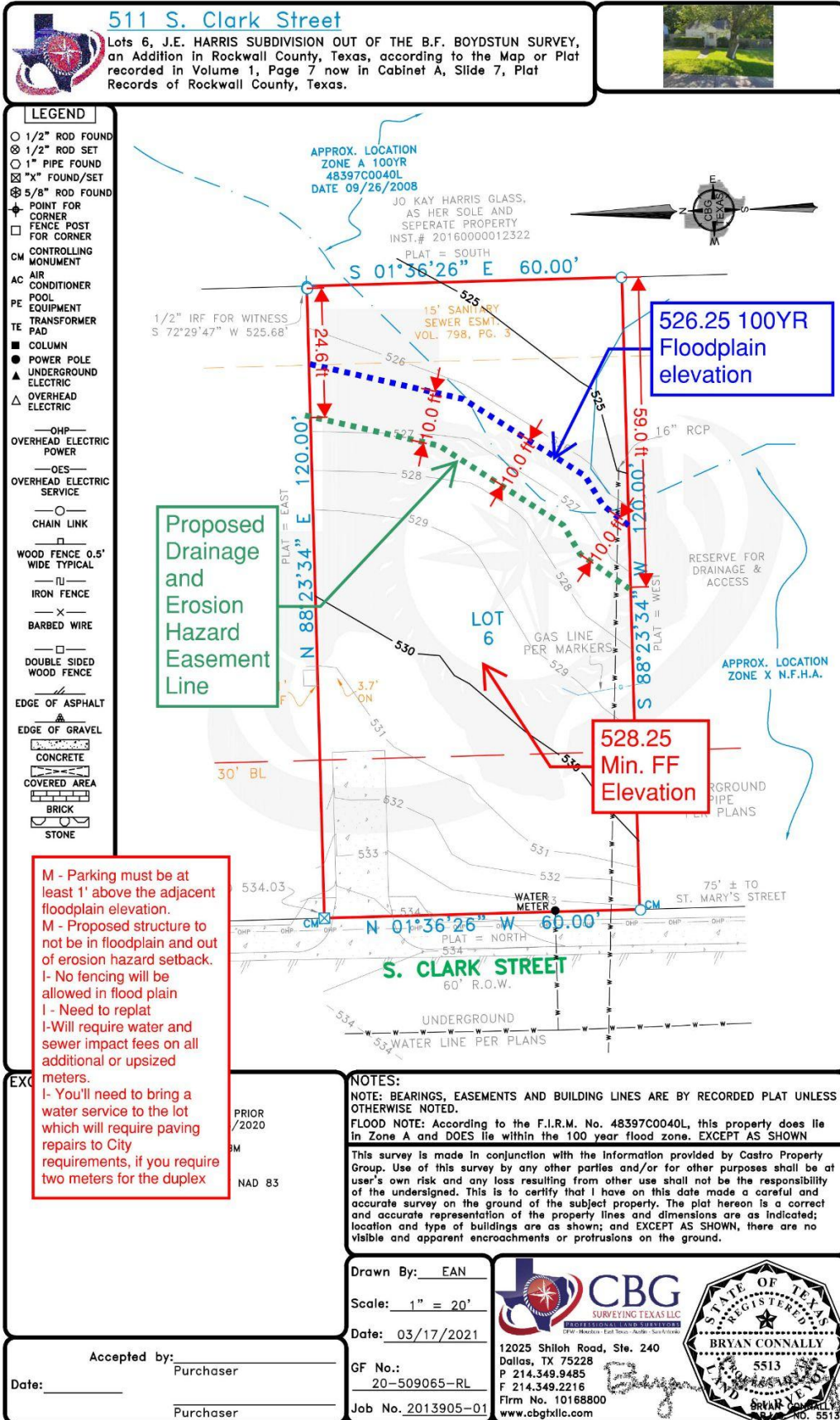
Image 2

- This proposed two-family residence has the visual look of being a single family residence. We believe this creates the most desirable outcome for both this lot as well as the surrounding properties. Providing two separate one-car garages on either side of the fire separation wall would visually make this development look like a duplex. A front-facing two-car garage with a 20' setback from the front facade of the house significantly restricts the buildable area and prevents an efficient and regular layout.

Conclusion

For the above stated reasons we believe reducing the requirements for two garage parking spaces and waiving the 20' garage setback for the front facing garage allows this site to overcome the hardships presented by the floodplain, allows us to develop a two-family residence that reflects the spirit of the zoning ordinance, and respects the surrounding neighbors by creating a visually appealing residence that meets current market standards of development.

Thank you for your input and consideration.



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



511 S Clark Street



512 S Clark Street



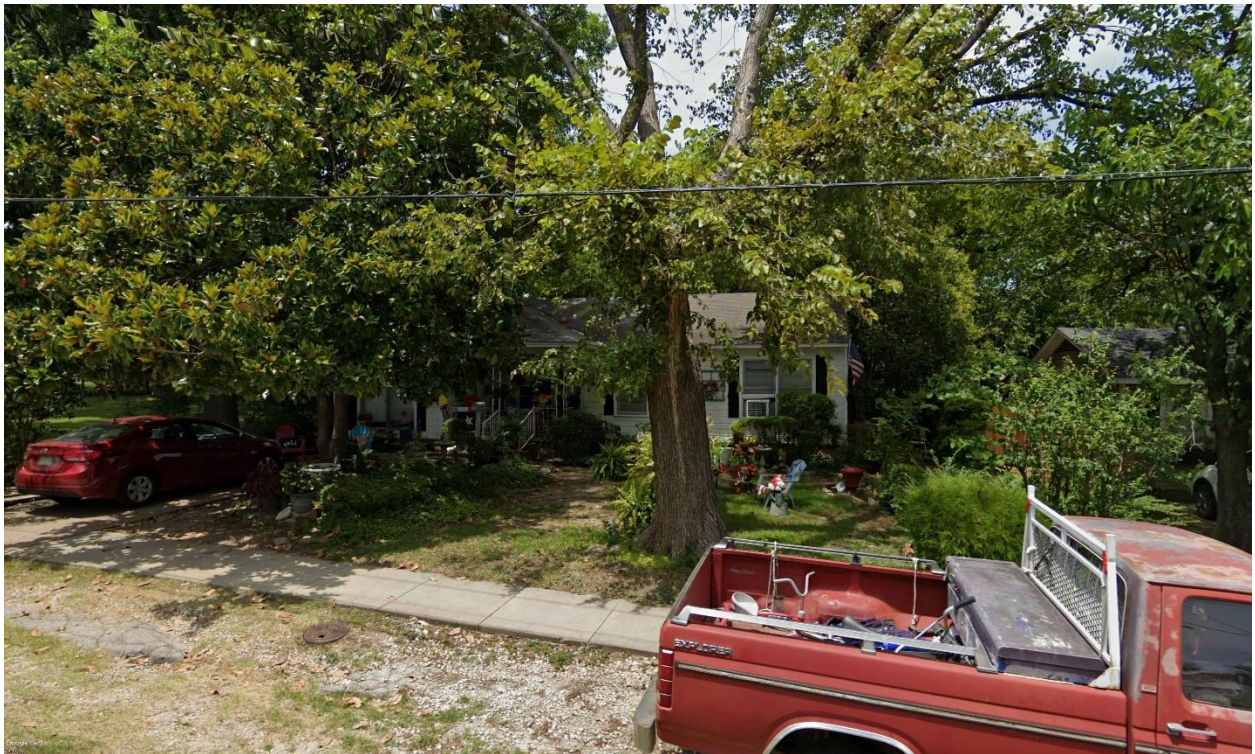
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street
Write a description for your map.

Legend



Google Earth

©2020 Google
©2021 Google

5.55 ft



406, 500, & 502 Storrs Street
Write a description for your map.

Legend



Google Earth

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5.81 ft

504-A & 504-B Storrs Street

Legend



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485 ft



510 & 512 Storrs Street

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5.46 ft



518 & 520 Storrs Street

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4.17 ft

514 & 516 Storrs Street

Legend



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4.13 ft



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a duplex on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JULY, 2021.

Kevin Fowler, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

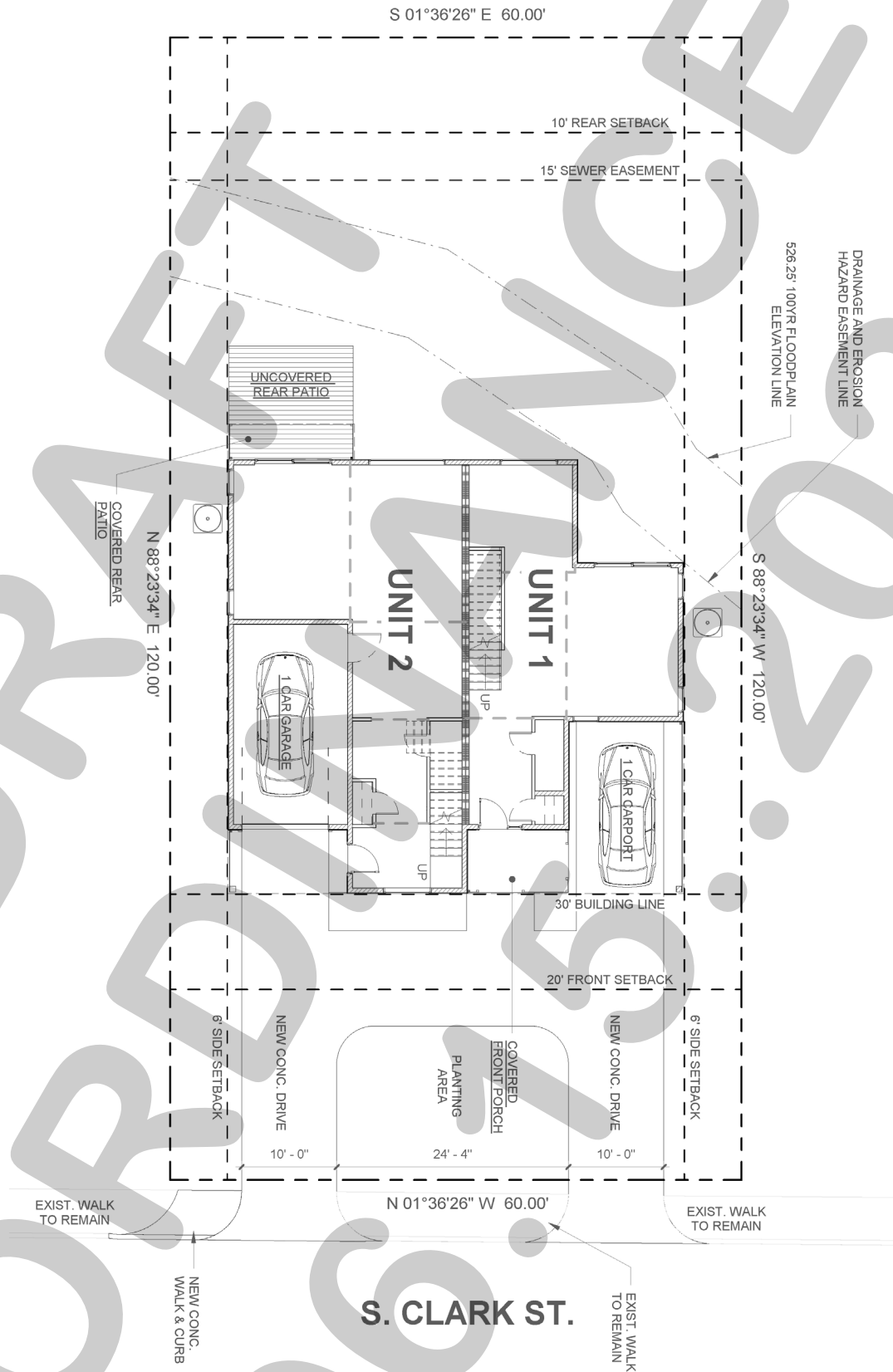
Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**



2
04/WEST
1/4" = 1'-0"

1
01/EAST
1/4" = 1'-0"

OVERALL
BUILDING
ELEVATIONS

A-200

SUP APPROVAL

511 S. Clark Street
Rockwall, TX 75087

**CLARK
DUPLEX**

00703.01

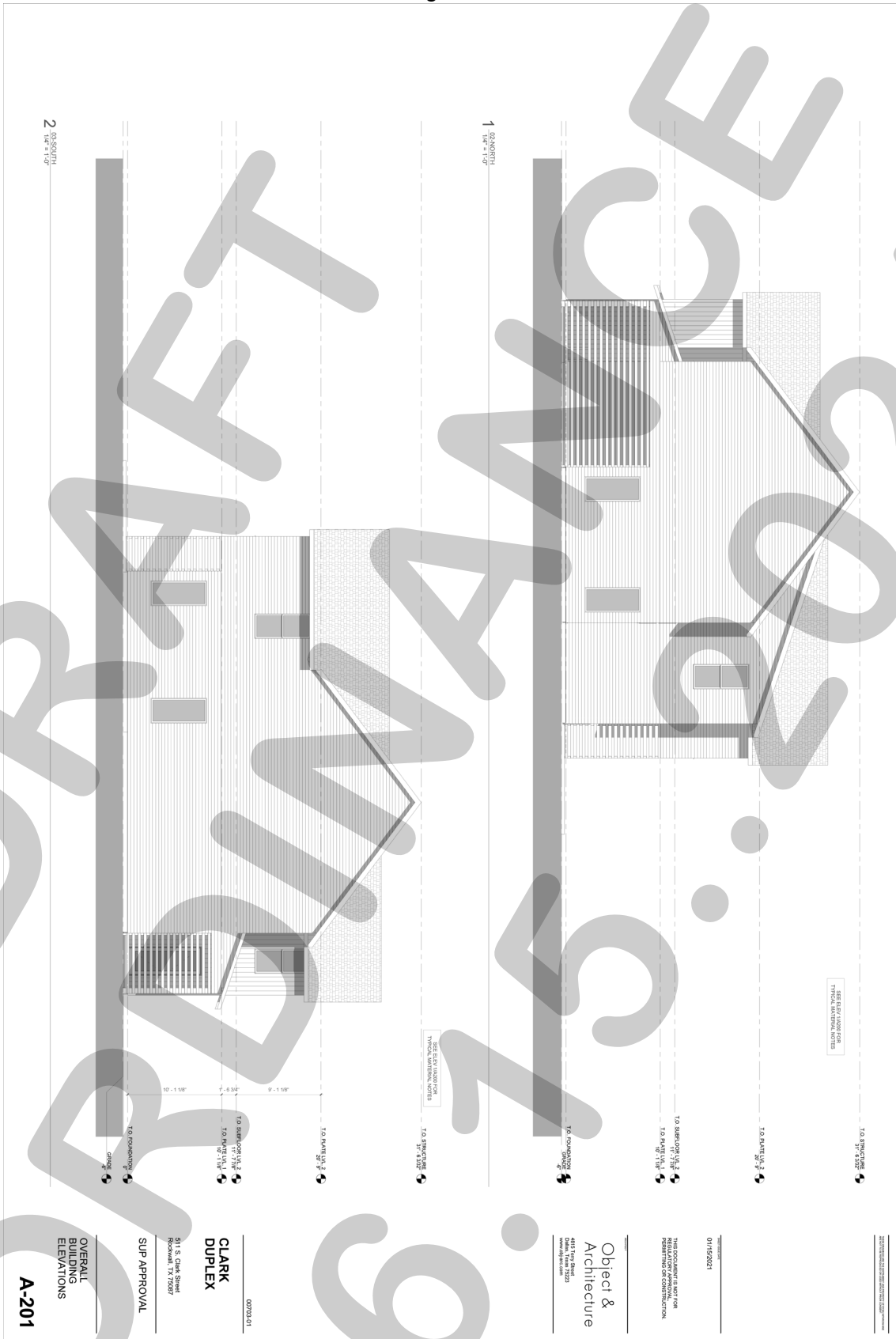
**Object &
Architecture**

4815 Terry Street
Houston, Texas 77023
www.objectandarchitecture.com

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01/15/2021

**Exhibit 'C':
Building Elevations**



0070021
**CLARK
 DUPLEX**
 911 S. Clark Street
 Rockwall, TX 75087
 SUP APPROVAL
 OVERALL
 BUILDING
 ELEVATIONS
A-201

01/15/2021
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 15, 2021
APPLICANT: Mike Mishler; *Mishler Builders, Inc.*
CASE NUMBER: Z2021-016; *Specific Use Permit for an Accessory Building at 361 Willowcrest*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a Specific Use Permit (SUP) allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

BACKGROUND

On June 10, 1996, the City Council approved a preliminary plat and a final plat for the Willowcrest Estates Subdivision [Case No. PZ1996-028-01]. At the time of approval, the Willowcrest Estates Subdivision was outside of the City's corporate limits, and was approved in accordance with an Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall concerning the approval of subdivision plats. The approval of this subdivision plat established the subject property as Lot 23 of the Willowcrest Estates Subdivision. The subject property was annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. According to the Rockwall County Appraisal District (RCAD) a 5,641 SF single-family home was constructed on the subject property in 1999, and a 345 SF detached covered porch and swimming pool was constructed on the subject property in 2013. On May 6, 2002, the City Council approved a zoning case [Case No. PZ2001-108-01; *Ordinance No. 02-22*] that rezoned the subject property from Agricultural (AG) District to Single-Family Estate 1.5 (SFE-1.5) District.

PURPOSE

The applicant -- *Mike Mishler of Mishler Builders, Inc.* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 361 Willowcrest. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) parcels of land (*i.e. 401 and 421 Willowcrest*), developed with single-family residential homes that are zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is an approximately 7.48-acre vacant tract of land designated as open space for the Oaks of Buffalo Way Subdivision. Beyond this is Winding Oaks Court, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are five (5) single-family residential homes (*i.e. 321, 281, 241, 201, and 165 Willowcrest*) that are within the Willowcrest Estates Subdivision and zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is FM-549, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is the Oaks of Buffalo Way Subdivision, which was established on July 15, 1997 and consists of 61 single-family residential homes on 107.68-acres of land. This subdivision is zoned Single-Family Estate 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Willowcrest, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are 16 single-family residential homes that are zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is Wallace Lance, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, floor plan, and building elevations requesting to permit a 62-foot by 48-foot (*or 2,976 SF*) accessory building that will be 15-feet, 2-inches in total height. The proposed elevations indicate the façade of the accessory building will be a brick veneer. At the Planning and Zoning Work Session the applicant indicated that the brick veneer will match the existing single-family home. The proposed accessory structure will have a roof pitch of 2:12 and be constructed utilizing standing seam, metal *R-Panel*. The applicant has also indicated that the only utility to be provided to the accessory building will be electricity. The accessory structure will be situated at the rear of the subject property approximately 25-feet from the rear (*or eastern*) property line and 25-feet from the side yard (*or northern*) property line.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family Estate 1.5 (SFE-1.5) District allows a total of two (2) accessory structures. For accessory buildings, the Single-Family Estate 1.5 (SFE-1.5) District allows either one (1) accessory building at 400 SF and one (1) detached garage at 625 SF, or a single accessory building at 1,000 SF. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum roof pitch of 3:12. The setbacks for accessory structures in a Single-Family Estate 1.5 (SFE-1.5) District are ten (10) feet from the rear property line and 25-feet from the side property line. Accessory buildings are also required to have a minimum of ten (10) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In addition, the section states that "(a)ll accessory buildings that are not portable accessory buildings require a permanent concrete foundation."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback requirements for accessory buildings; however, the accessory building does not adhere to the [1] maximum size permitted for accessory building, [2] the maximum permissible height for accessory buildings, and [3] the minimum roof pitch for a residential structure. The proposed accessory building exceeds the maximum permissible size by 2,576 SF, the maximum permissible height by two (2) inches, and incorporates a 2:12 roof pitch as opposed to the required 3:12 roof pitch. Staff performed a review of the homes in the surrounding subdivision using aerial imagery (*a total of 28 single-family homes are in the Willowcrest Estate Subdivision*), and determined that there does not appear to be any accessory buildings in the area of a similar size as to what the applicant is proposing. Staff should note that eight (8) of the 28 homes surveyed had accessory structures, with the largest accessory structure observed being a detached garage that is 960 SF. The average size of all accessory structures analyzed was 640 SF. With all of this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 21, 2021, staff mailed 30 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Oaks of Buffalo Way Homeowner's Association (HOA), which is the only HOA/Neighborhood Organizations that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a

sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 3,000 SF; and
 - (c) The *Accessory Building* shall not exceed a maximum height of 15'-2"; and
 - (d) The subject property shall not have more than two (2) accessory structures.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 361 Willowcrest

SUBDIVISION Willowcrest Estates

LOT 23 BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE SFH

PROPOSED ZONING _____

PROPOSED USE SFH

ACREAGE 1.948

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER John Curanovic

APPLICANT Mishler Builders, Inc.

CONTACT PERSON _____

CONTACT PERSON Mike Mishler

ADDRESS 361 Willowcrest

ADDRESS 1009 Ivy Ln.

CITY, STATE & ZIP Rockwall, TX 75082

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-938-1171

PHONE 214-502-3895

E-MAIL drcuranovic@yahoo.com

E-MAIL mishlerbuilders@scglobe.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN CURANOVIC [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

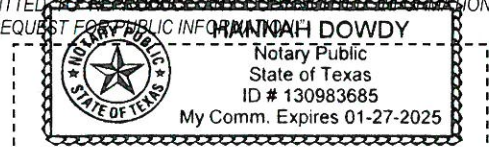
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 229.22 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14TH DAY OF May, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY UNASSIGNED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF May, 2021.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

Hannah Dowdy



MY COMMISSION EXPIRES 01-27-2025



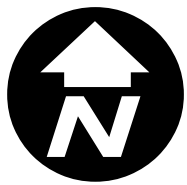
Z2021-016- SUP FOR DETACHED GARAGE AT 361 WILLOWCREST ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

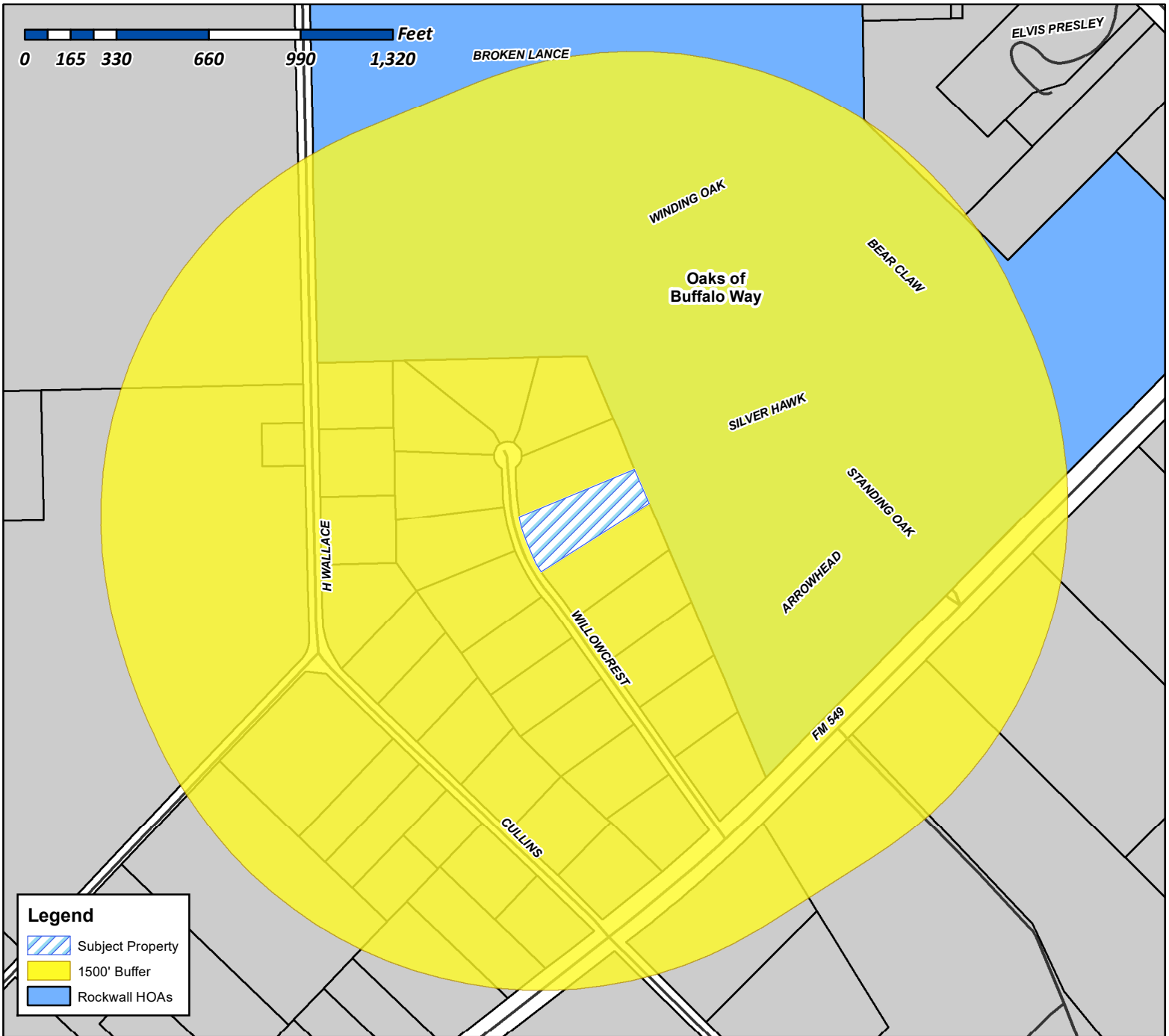
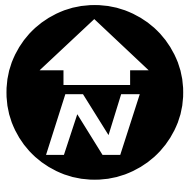




City of Rockwall

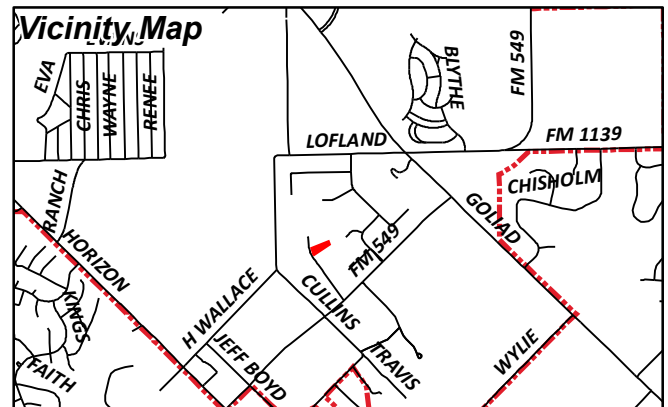
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-016
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5) District
Case Address: 361 Willowcrest

Date Created: 5/14/2021
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-016]
Attachments: HOA Map Z2021-016.pdf; Public Notice (05.19.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 21, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 15, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 21, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-016 SUP for a Detached Garage at 361 Willowcrest

Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a *Specific Use Permit (SUP)* allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

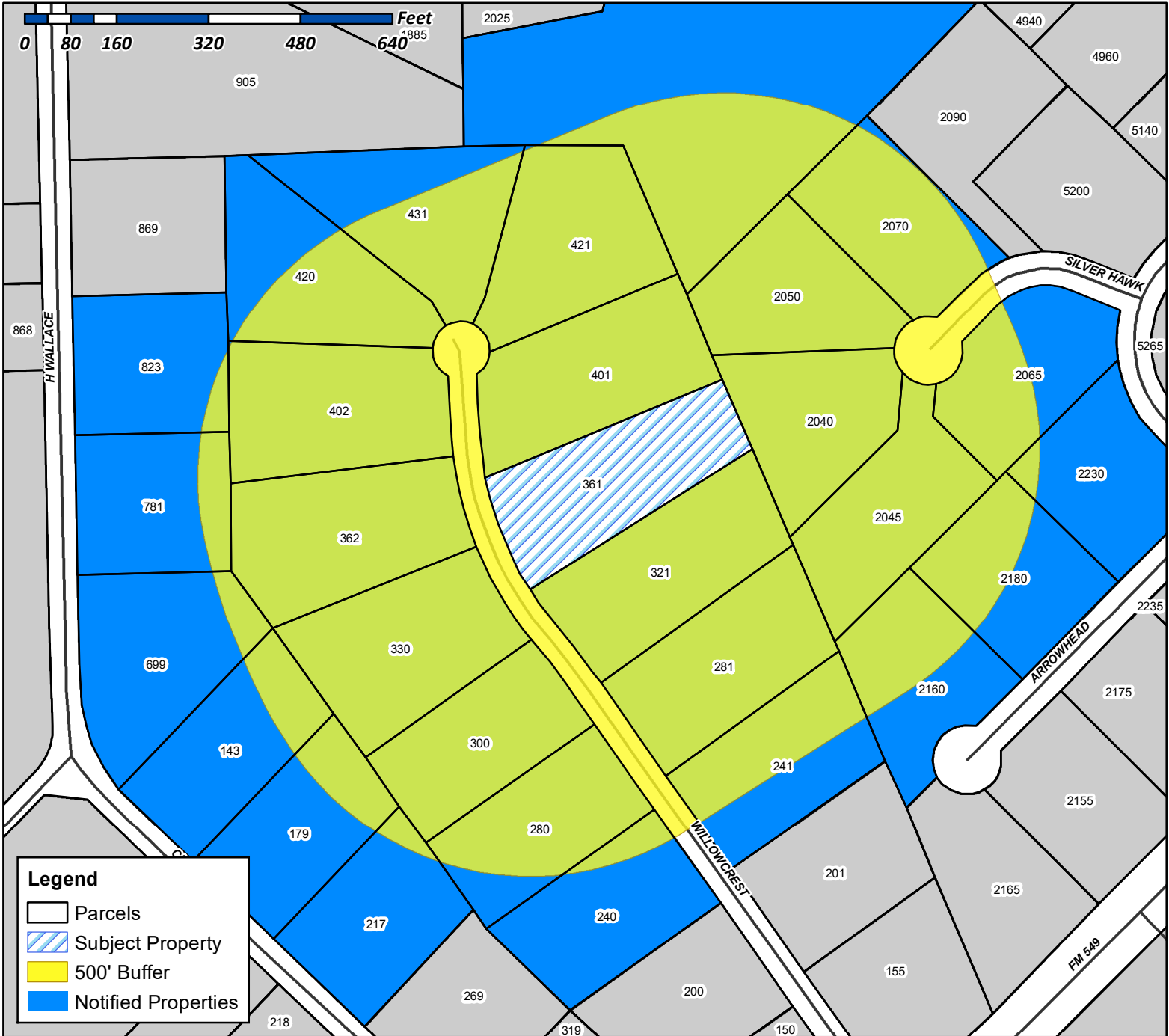
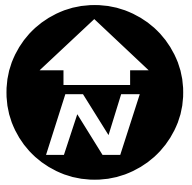
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City of Rockwall

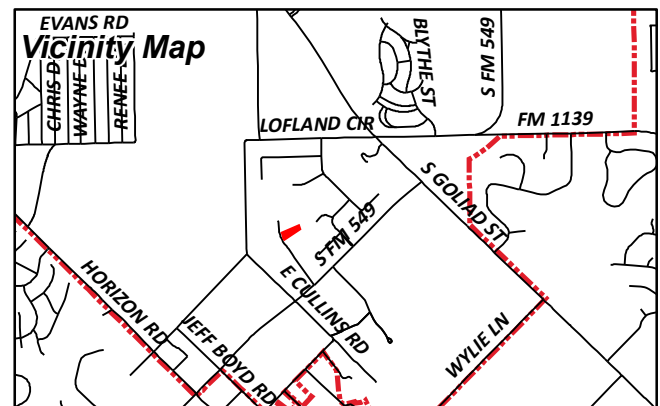
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-016
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5) District
Case Address: 361 Willowcrest

Date Created: 5/14/2021
 For Questions on this Case Call (972) 771-7745



PINKSTON RONALD L & KAREN L
143 CULLINS RD
ROCKWALL, TX 75032

SWINFORD TYSON AND JENNIVEE
179 CULLINS ROAD
ROCKWALL, TX 75032

CALLAHAN CHRISTOPHER S & SHARILYN K
2040 SILVER HAWK CT
ROCKWALL, TX 75032

KISSELBURGH JULIANNE J
2045 SILVER HAWK CT
ROCKWALL, TX 75032

BEARER WILLIAM DOUGLAS AND ANDREA JEAN
2050 SILVER HAWK COURT
ROCKWALL, TX 75032

LEE JAMES D & FONN C
2065 SILVER HAWK CT
ROCKWALL, TX 75032

JOHNSTON MARGARITA
2070 SILVER HAWK CT
ROCKWALL, TX 75032

GRAHAM M TODD AND SHANNA R
2160 ARROWHEAD COURT
ROCKWALL, TX 75032

THRASH MARTHA
217 W CULLINS ROAD
ROCKWALL, TX 75032

GREEN JACKIE & TAMI
2180 ARROWHEAD CT
ROCKWALL, TX 75032

RUMMEL STEVEN DAVID AND JANET L
2230 ARROWHEAD CT
ROCKWALL, TX 75032

SWIERCINSKY CAPRICE
240 WILLOWCREST
ROCKWALL, TX 75032

NICHOLS JAMES AND
LYNNE HOANG
241 WILLOWCREST DR
ROCKWALL, TX 75032

HARMAN STEPHEN SCOTT & REBECCA A
280 WILLOWCREST
ROCKWALL, TX 75032

KOZIOL JOHN C & VIRGINIA R
281 WILLOWCREST
ROCKWALL, TX 75032

PRATT DAVID
300 WILLOWCREST
ROCKWALL, TX 75032

SULLIVAN DAVID W & SHAWNA
321 WILLOWCREST
ROCKWALL, TX 75032

ADAMS JEFFREY BLAKE & CATHY
330 WILLOWCREST
ROCKWALL, TX 75032

CURANOVIC JOHN
361 WILLOWCREST
ROCKWALL, TX 75032

BAUGHER JAMES M AND
MARY BETH BAUGHER
362 WILLOWCREST
ROCKWALL, TX 75032

ATHERTON PETER JOHN
401 WILLOWCREST
ROCKWALL, TX 75032

LEE ARON AND CARLIE HENDRICKSON-LEE
402 WILLOWCREST DRIVE
ROCKWALL, TX 75032

MILLER JASON D & JANITH L
420 WILLOWCREST
ROCKWALL, TX 75032

REZAZADEH SEYED M & MAHIN
421 WILLOWCREST
ROCKWALL, TX 75032

SWAIN BRENT MERRICK
431 WILLOWCREST
ROCKWALL, TX 75032

STEVENS DWAYNE ETUX
699 H WALLACE LN
ROCKWALL, TX 75032

GREGG RODNEY P
781 H WALLACE LN
ROCKWALL, TX 75032

MERRITT PAUL C & LOUISE
823 H WALLACE LN
ROCKWALL, TX 75032

OAKS OF BUFFALO WAY LLC
C/O HOMEOWNERS ASSOC.
PO BOX 1633
ROCKWALL, TX 75087

ATHERTON PETER JOHN
PO BOX 2402
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-016: Specific Use Permit for a Detached Garage

Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a Specific Use Permit (SUP) allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-016: Specific Use Permit for a Detached Garage

Please place a check mark on the appropriate line below:

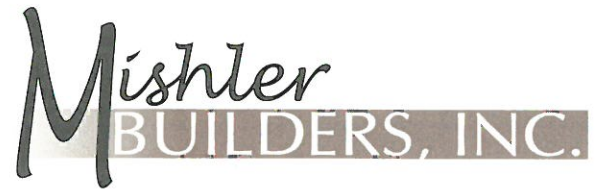
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

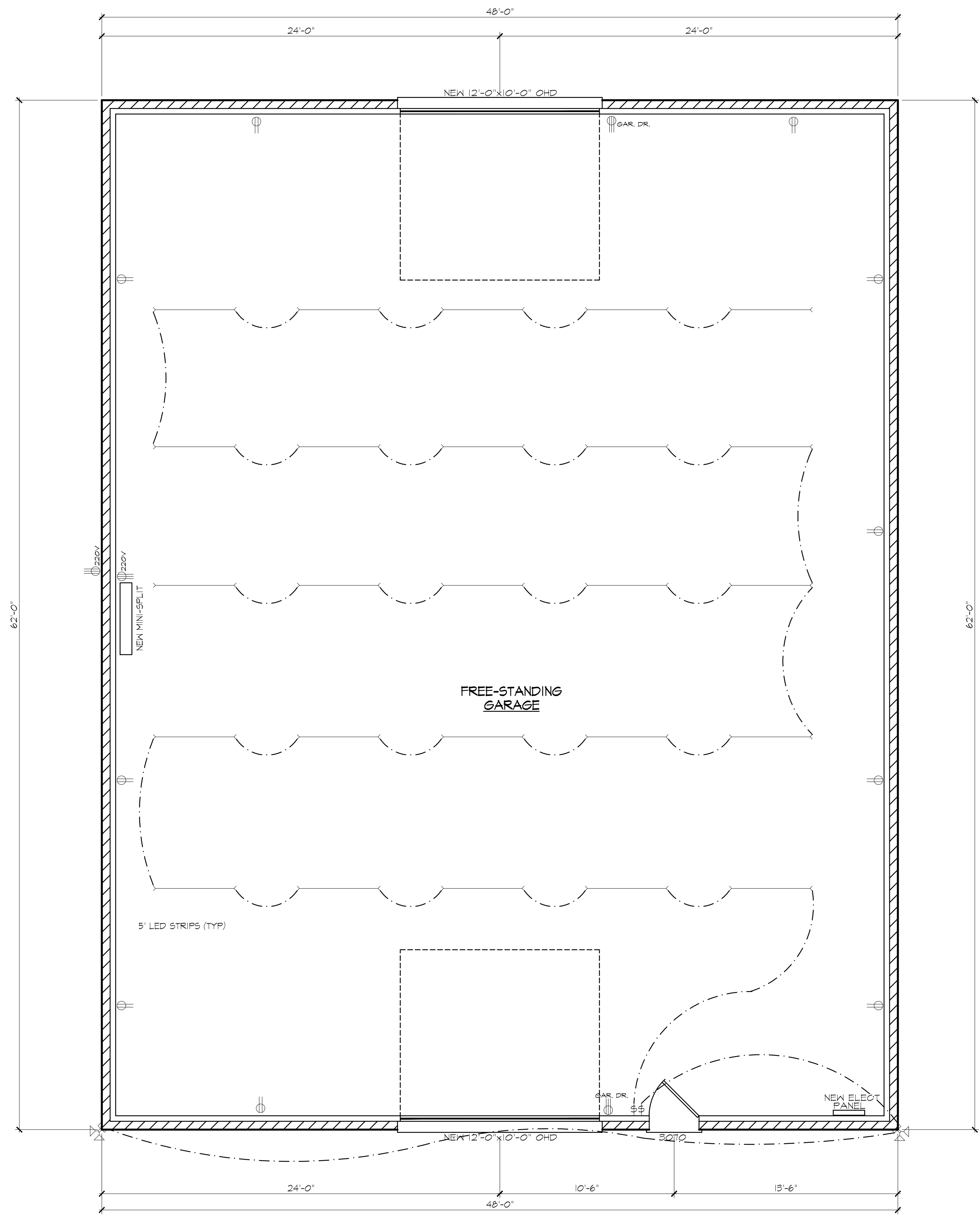


Re: 361 Willowcrest Dr, Rockwall, TX 75032

We are proposing to construct a 48' x 62' metal building with brick veneer to match existing home at the rear of the property. Roof will be metal R-panel. Height not to exceed 15'.

A 10' wide concrete drive will be constructed from the existing garage pad to the new garage.

AREA CALCULATIONS
 GARAGE ADDITION = 2,913 S.F.



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- RHEOSTAT
- DUPLEX
- COUNTERTOP DUPLEX
- SPLIT WIRED DUPLEX
- QUADRUPLEX
- WATER PROOF
- FLOOR DUPLEX
- GFI DUPLEX
- PHONE OUTLET
- TV OUTLET
- THERMOSTAT
- SMOKE DETECTOR
- JUNCTION
- 220 VOLT OUTLET
- CEILING LIGHT
- RECESSED CEILING LIGHT
- FLOODLIGHT
- WALL HUNG LIGHT
- EYEBALL LIGHT
- RECESSED EYEBALL LIGHT
- VENT
- VENT AND LIGHT
- HEAT AND LIGHT
- HEAT AND VENT
- HEAT, VENT AND LIGHT
- OUTDOOR SPEAKER
- 3' FLUORESCENT
- 4' FLUORESCENT
- 4' FLUORESCENT DBL
- CEILING FAN WITH LIGHT
- WALL MOUNT
- BAR LIGHT
- GARAGE LIGHT

PLANS
 MICHAEL V. LAND
 EMAIL: plans@mvland.com
 11 COLLING BLVD
 ROCKY HILLS, CT 06260
 PHONE: 860.262.0205
 FAX: 860.262.0205

**361 WILLOWCREST
 MISHLER BUILDERS**

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. FIELD VERIFY THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. MISHLER BUILDERS ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. THE OWNER AGREES TO HOLD MISHLER BUILDERS HARMLESS FROM ALL LOCAL CODES, ORDINANCES, AND RESTRICTIONS APPLY. LIMIT OF DESIGNER'S LIABILITY NOT TO EXCEED PRICE PAID FOR THE PLANS.

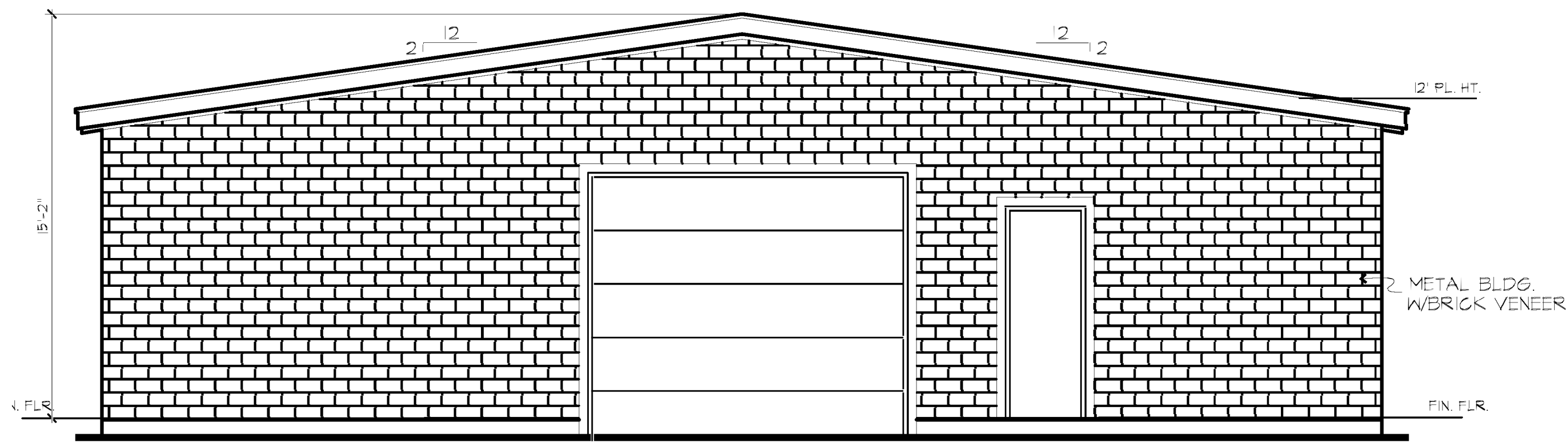
BUILDERS NOTES:

COMMON ANGLE 45 UNLESS NOTED

NOTE:

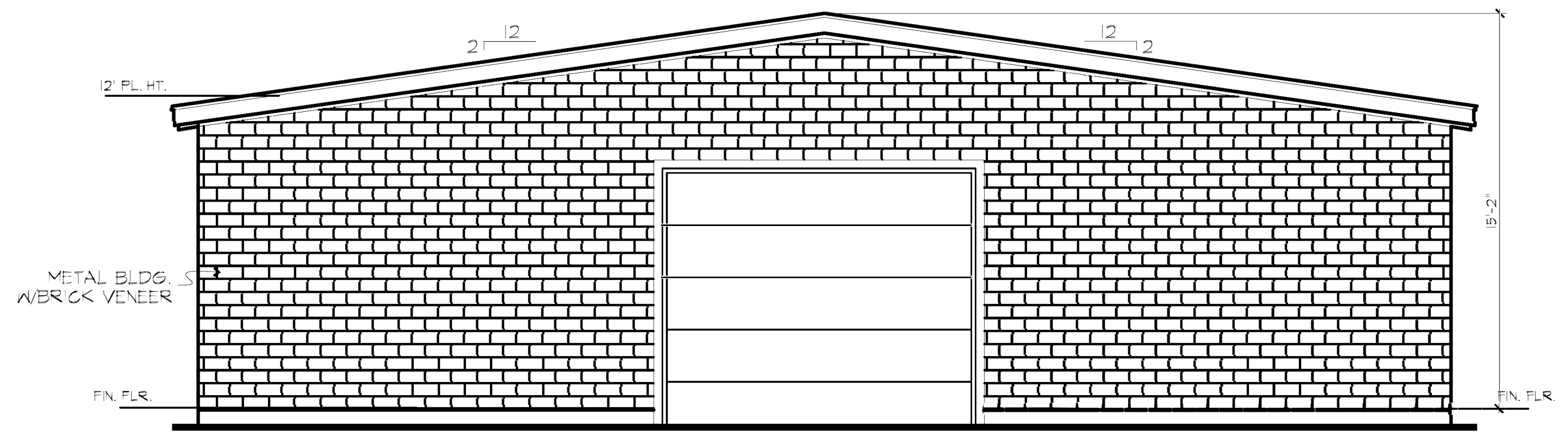
ALL FIXTURES NOTED IN THIS LEGEND ARE TO BE SPECIFIED BY OWNER/BUILDER. VERIFY ALL LOCATIONS.

PLAN NO.	-
DATE	04/22/2021
	04/26/2021
	05/13/2021
	05/17/2021
	-
	-



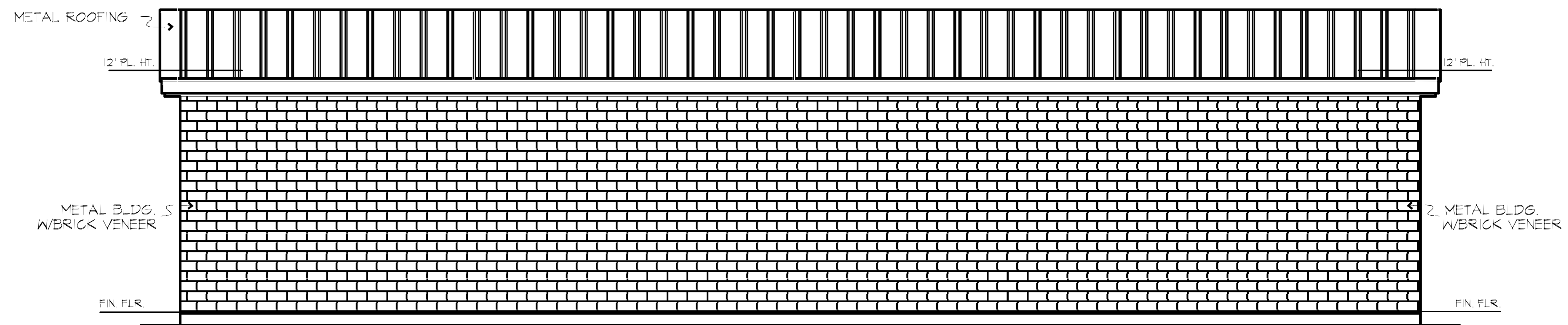
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



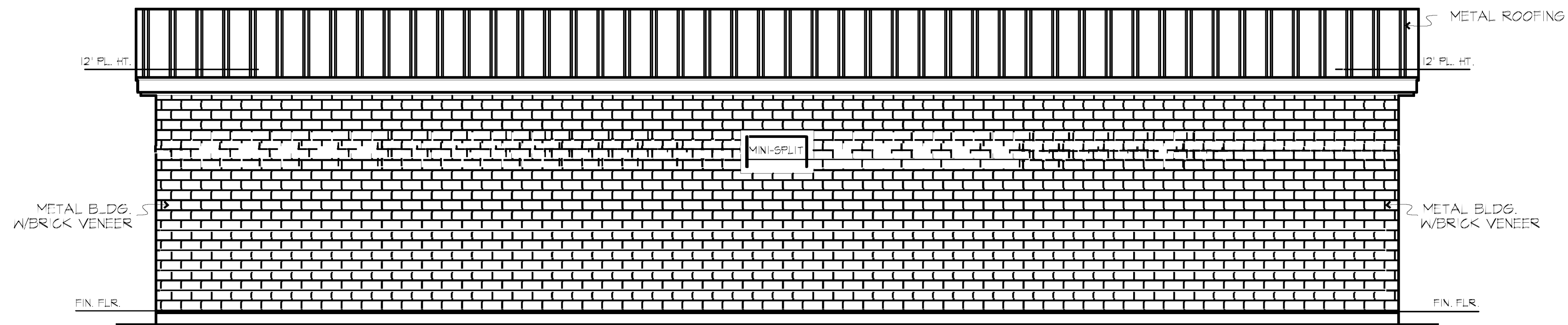
REAR ELEVATION

SCALE: 1/4" = 1'-0"



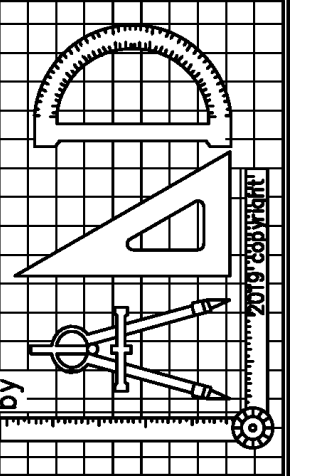
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



PLANS
 By
 MICHAEL V. LAND
 EMAIL: plans@landm.com
 11 COLLINS BLVD
 HICKORY, NC 28601
 PHONE: 703.202.2000
 FAX: 703.202.2005

**361 WILLOWCREST
 MISHLER BUILDERS**

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. FIELD VERIFY THE ACCURACY OF THESE PLANS. DO NOT SCALE THESE DRAWINGS. MISHLER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES, AND RESTRICTIONS APPLY. LIMIT OF DESIGNERS LIABILITY NOT TO EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.
 03213189

DATE
 04/22/2021
 04/26/2021
 05/13/2021
 05/17/2021

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 1.948-ACRE TRACT OF LAND, IDENTIFIED AS LOT 23, WILLOWCREST ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 1.948-acre tract of land described as Lot 23 Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibit 'B & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 3,000 SF.
- (3) The *Accessory Building* shall not exceed a maximum height of 15'-2".
- (4) The *Subject Property* shall not have more than two (2) accessory structures.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

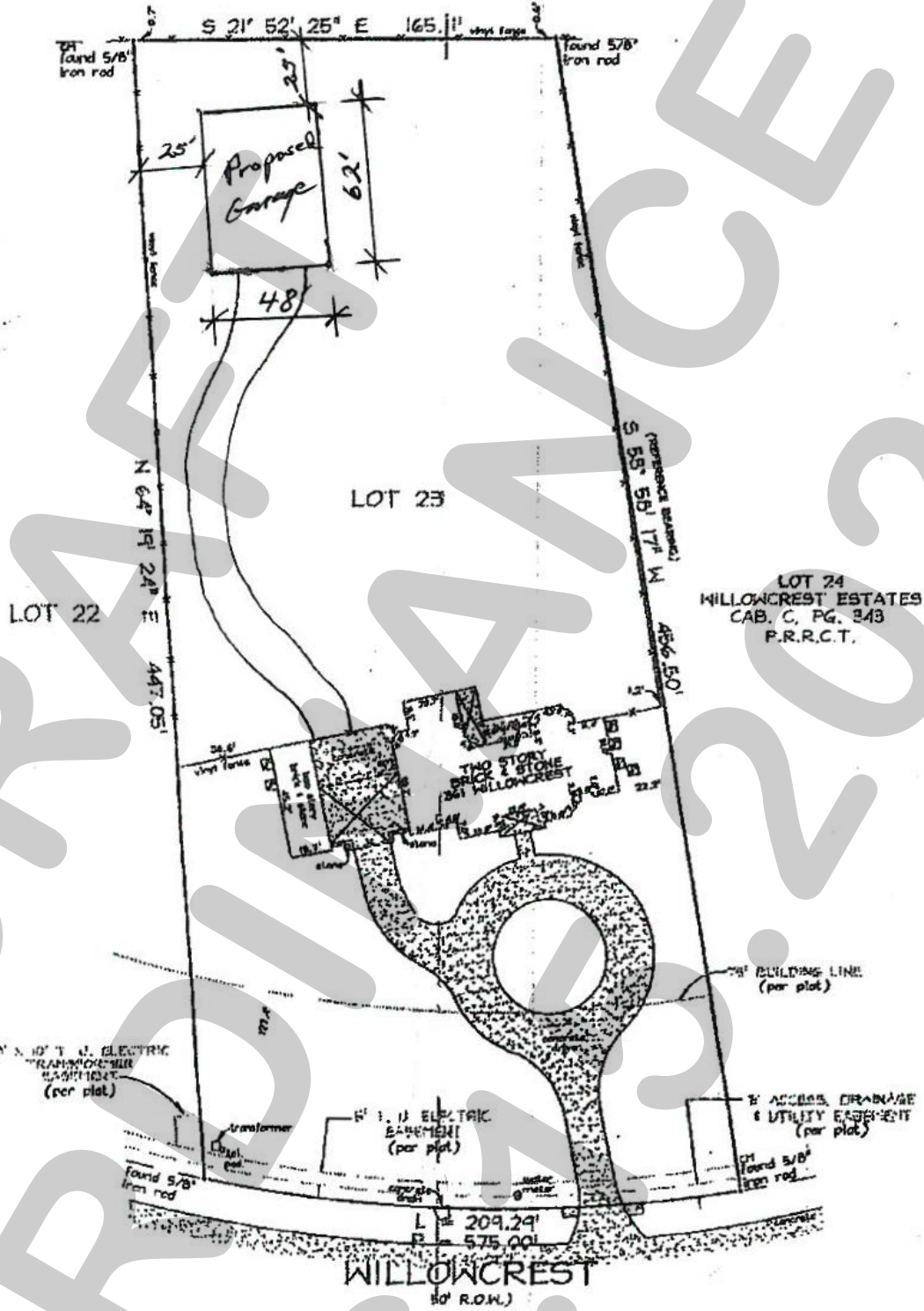
Exhibit 'A'
Zoning Exhibit

Address: 361 Willowcrest

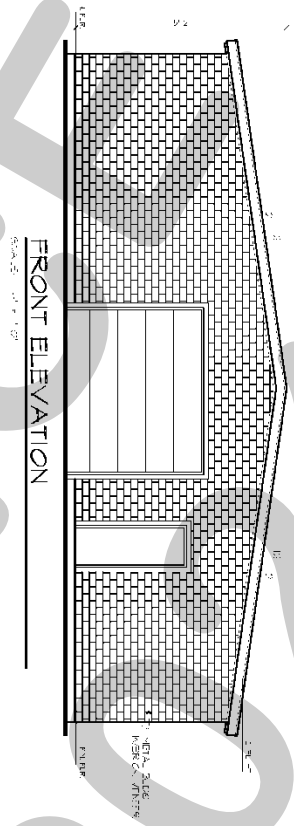
Legal Description: Lot 23, Willowcrest Estates Subdivision



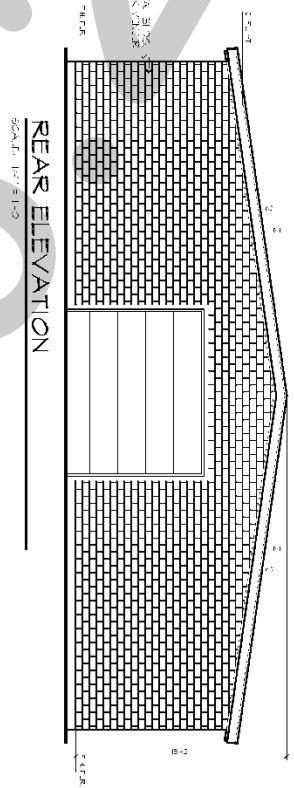
Exhibit 'B':
Residential Plot Plan



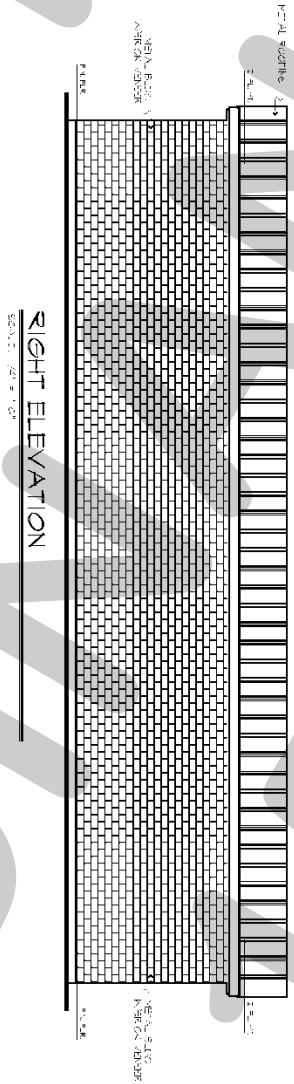
**Exhibit 'C':
Elevations**



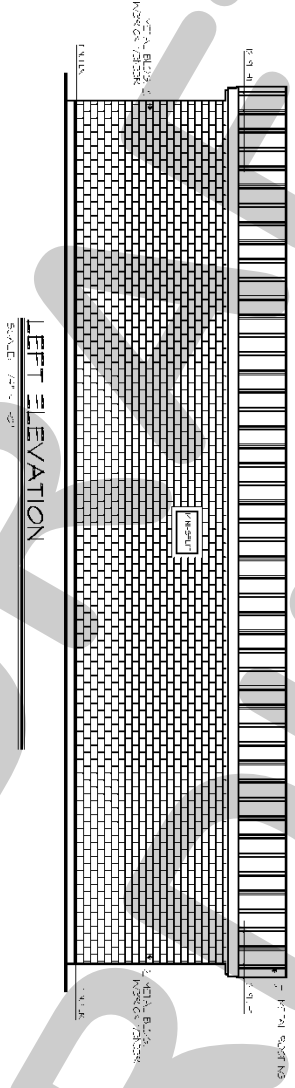
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 15, 2021

APPLICANT: Tyler Wood; *Intrepid Equity Investments, LLC*

CASE NUMBER: Z2021-017; *Zoning Change from Agricultural (AG) District to Light Industrial (LI) District at the intersection of Airport Road and John King Boulevard*

SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of RBB/GCF Properties, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 98-10*, annexing the subject property into the City of Rockwall on March 16, 1998. At the time of annexation, the subject property was zoned as Agricultural (AG) District. No portion of the subject property has been rezoned or developed since the subject property was annexed, and the subject property is currently vacant.

PURPOSE

On May 14, 2021, the applicant -- *Tyler Wood of Intrepid Equity Investments* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Light Industrial (LI) District. The applicant has stated that the purpose of the zoning request is to facilitate the construction of a multi-tenant office/warehouse/distribution facility.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the south side of Airport Road, east of the intersection of Airport Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a *M4U (i.e. major collector, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is a 64.514-acre tract of land (*i.e. Tract 15, of the D. Harr Survey, Abstract No. 102*), which is owned by the City of Rockwall (*i.e. Animal Adoption Center*). Continuing north are several tracts of properties, zoned Agricultural (AG) District, that have single-family homes situated on them. One (1) of the properties is a vacant tract of land (*i.e. Tract 14, of the D. Harr Survey, Abstract No. 102*) containing 25.87-acres. Beyond this is SH-66, which is identified as a *TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Agricultural (AG) District.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Continuing south, and adjacent to the *Union Pacific Dallas/Garland Northeast Railroad*, is a 21.554-acre portion (*i.e. Tract 20, of the D. Harr Survey, Abstract No. 102*) of a larger 44.0779-acre tract of land that is vacant. South of this property are several vacant tract of land that are zoned Agricultural (AG) and Light Industrial (LI) Districts.

East: Directly east of the subject property are several properties zoned Agricultural (AG) District that have single-family homes situated on them. Continuing east is a 3.128-acre tract of land zoned Single-Family Estate 1.5 (SF-1.5) District, which is occupied by a single-family residence. Beyond this is N. Stodghill Road, which is identified as a *TXDOT4D* (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This thoroughfare is adjacent to the corporate limits of the City of Rockwall.

West: Directly west of the subject property are four (4) vacant tracts of land, which are identified as Tract 2 (6.177-acres), Tract 2-01 (6.177-acres), Tract 2-03 (5.784-acres), and Tract 2-06 (5.07-acres), D. Harr Survey, Abstract No. 102 and are zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a *P6D* (i.e. principle arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

- (1) Water Improvements. The development will be required to tie to the existing 12-inch waterline on the northside of Airport Road.
- (2) Sewer Improvements. The development will be required to tie to the existing 12-inch sanitary sewer line located along the eastern property line of the subject property.
- (3) Roadways. The Master Thoroughfare Plan contained in the Comprehensive Plan indicates Airport Road is identified as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for dedicating any additional right-of-way (i.e. as measured 30-feet from the centerline of the roadway) necessary for this roadway at the time final plat.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual*.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and, in which] (l)imitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities." The Light Industrial (LI) District is also intended to facilitate the development of industrial parks and larger, cleaner types of industries. This section of the code goes on to state that "(s)ince this zoning district accommodates limited industrial activities that require substantial screening and buffering requirements, the Light Industrial (LI) District is a suitable zoning designation for high visibility locations (e.g. *IH-30* and *SH-276*) or within a reasonable distance of residential areas as long as they are separated by an appropriate amount of open space."

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Central District and is designated for Technology/Employment Center land uses. According to the Comprehensive Plan, the Central District is "...composed of a wide range of uses that vary from single-family to industrial ... [and] (t)he Central District also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Railroad* line that bisects the district." The applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, is in conformance with the Technology/Employment Center land use designation and appears to be in conformance with the *District Strategies* for the Central District. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. *80% Residential; 20% Commercial*) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential

land use balance. Since the proposed zoning change is in conformance to the Future Land Use Plan, the proposed zoning change does not change the mix of residential to non-residential land uses. This balance remains at 75.90% residential land uses to 24.10% non-residential land uses. With this being said, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 20, 2021, staff mailed 26 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadow Estates Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from property owners within the notification area (*i.e. within the 500-foot buffer*) that are in favor of the applicant's request.
- (2) Two (2) property owner notifications from property owners that are not within the notification area (*i.e. outside of the 500-foot buffer*) that are in favor of the applicant's request.
- (3) One (1) letter from a property owner that is within the notification area (*i.e. within the 500-foot buffer*) that is opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Airport Road (Rockwall CAD Property ID: 11011)

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION South Side of Airport Road East of S. John King

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Agricultural

PROPOSED ZONING LI

PROPOSED USE Warehouse/Distribution Center

ACREAGE 17.03

LOTS [CURRENT] 1

LOTS [PROPOSED] 4

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER RBB/GCF Properties, LP

APPLICANT Intrepid Equity Investments, LLC

CONTACT PERSON Robert B. Baldwin III

CONTACT PERSON Tyler Wood

ADDRESS 4500 Christopher Drive

ADDRESS 4131 Spicewood Springs Rd. Suite E4

CITY, STATE & ZIP Austin, TX 78746

CITY, STATE & ZIP Austin, TX 78759

PHONE 512-751-4500

PHONE 214-909-9202

E-MAIL rbbaldwin3@me.com

E-MAIL twood@intrepid-equity.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tyler Wood Owner's Representative ~~[OWNER]~~ THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

Owner's Representative

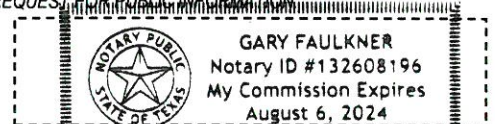
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 455.45 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF May, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF May, 2021.

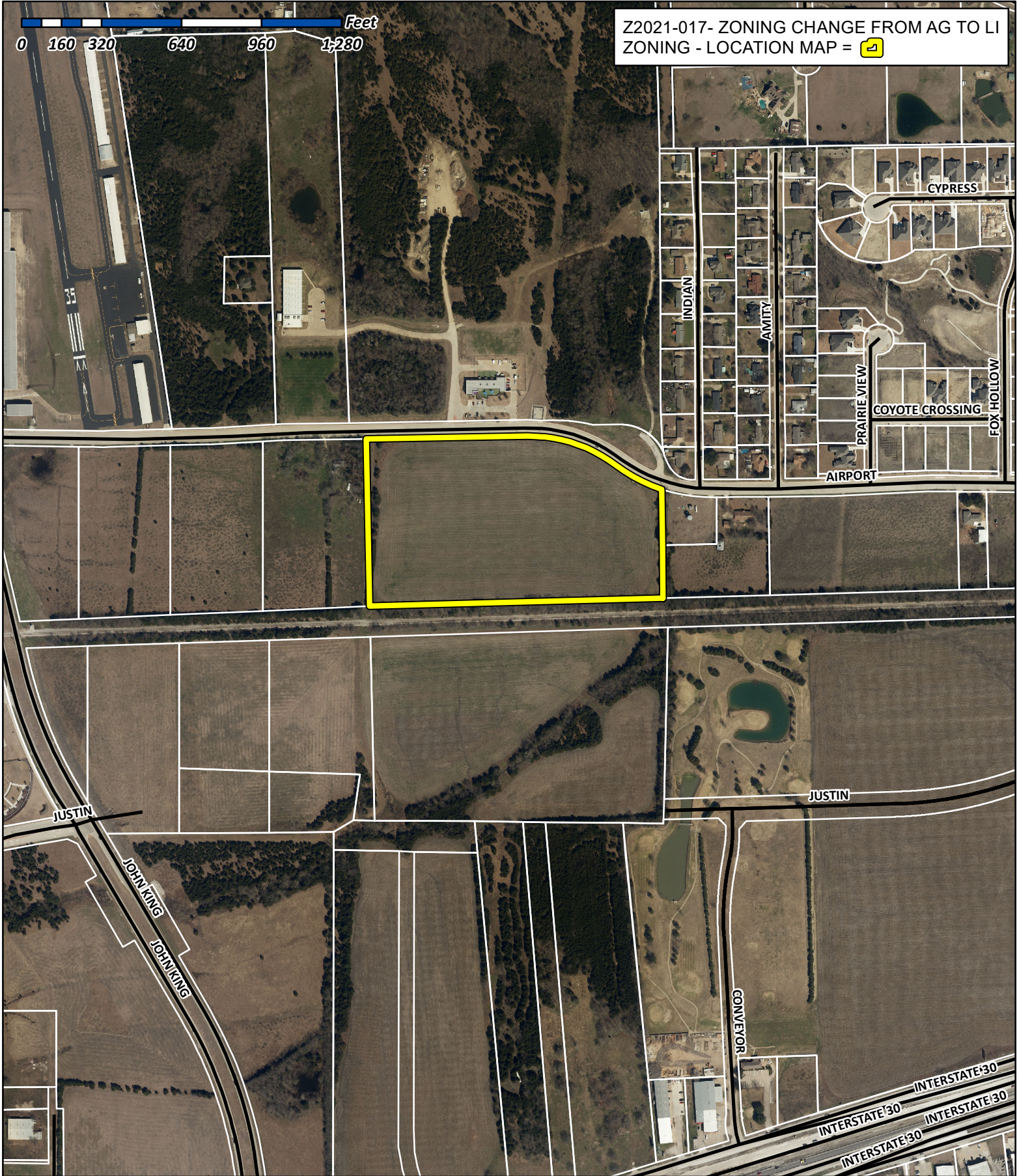
Owner's Representative Tyler Wood
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Gary Faulkner
Notary Signature



MY COMMISSION EXPIRES Aug. 6, 2024



Z2021-017- ZONING CHANGE FROM AG TO LI
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

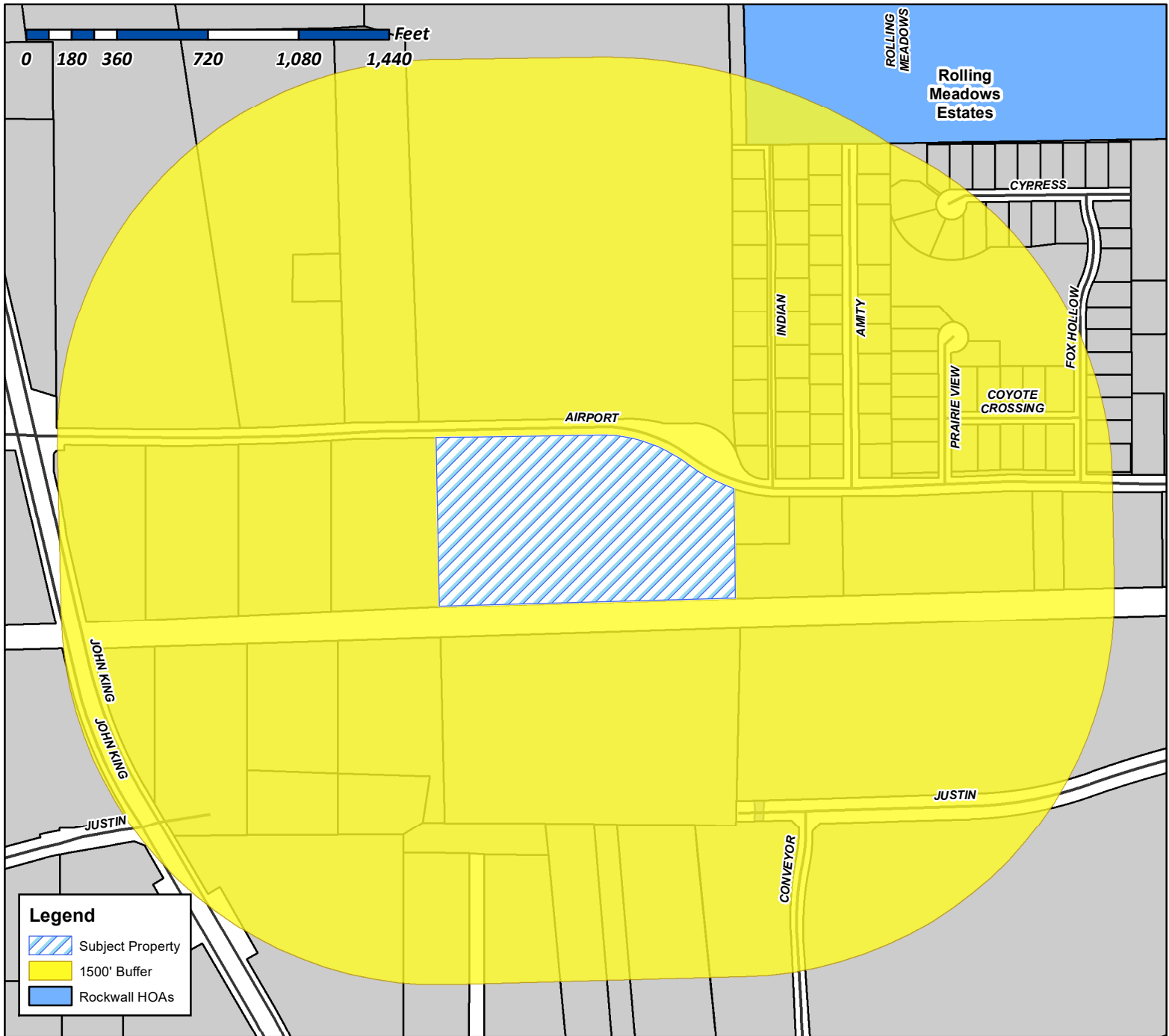




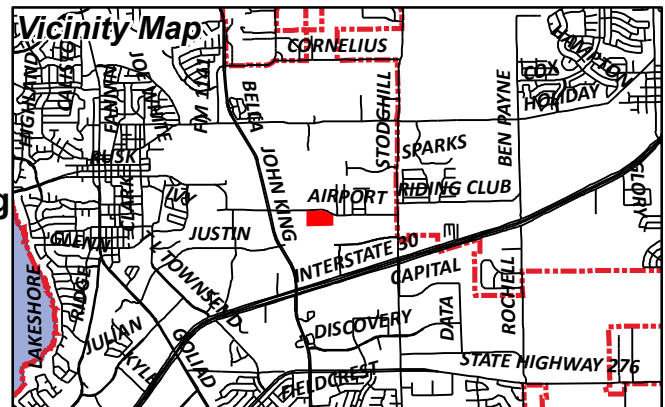
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-017
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: South of Airport Rd. East of John King



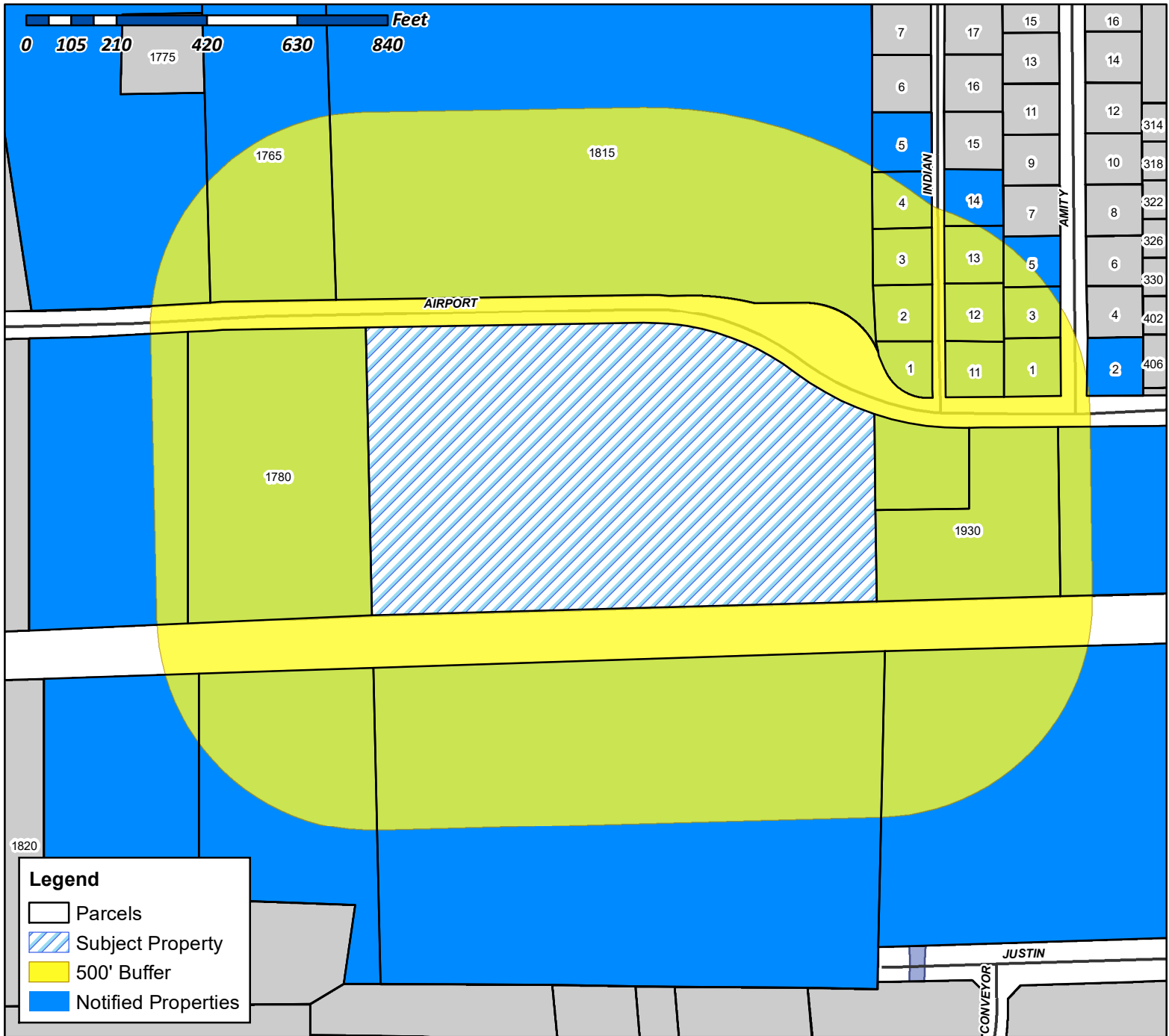
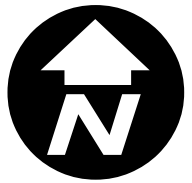
Date Created: 5/17/2021
For Questions on this Case Call (972) 771-7745



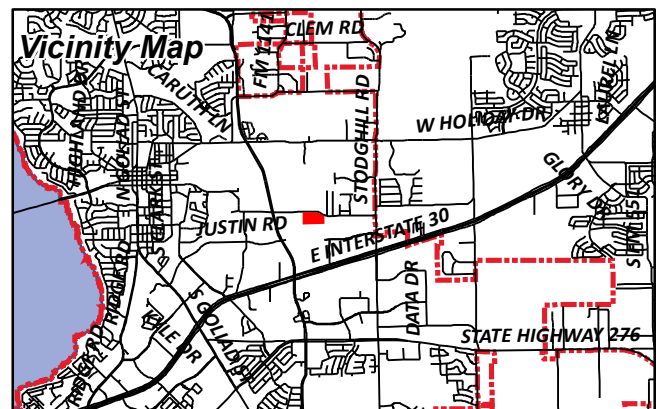
City of Rockwall

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Rockwall, Texas 75087
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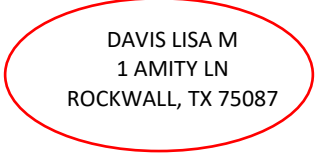


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Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: South of Airport Rd. East of John King



Date Created: 5/17/2021
 For Questions on this Case Call (972) 771-7745

 = RESPONSES RECEIVED


DAVIS LISA M
1 AMITY LN
ROCKWALL, TX 75087

GRIFFIN PATTY CORNELIUS
1 INDIAN TRL
ROCKWALL, TX 75087

HERRERA SARAH E AND DANIEL O
11 INDIAN TR
ROCKWALL, TX 75087

FINK JAMI
12 INDIAN TRL
ROCKWALL, TX 75087

KIMBRELL MIKE
13 INDIAN TRL
ROCKWALL, TX 75087

TOVAR JULIAN AND ERIKA
14 INDIAN TRAIL
ROCKWALL, TX 75087

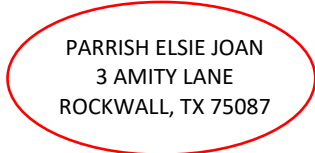
ATHEY JACKIE RAY
1780 AIRPORT RD
ROCKWALL, TX 75087

GARRETT RANDY SCOTT
1930 AIRPORT RD
ROCKWALL, TX 75087

KHAN ZIAUR RASHID
2 AMITY LN
ROCKWALL, TX 75087

WACK LINDSEY P & DONNETTE
2 INDIAN TRL
ROCKWALL, TX 75087

SPRINGER OUIDA R MRS
2000 AIRPORT RD
ROCKWALL, TX 75087


PARRISH ELSIE JOAN
3 AMITY LANE
ROCKWALL, TX 75087

MIXON DEMPSEY W JR & DEANNA
3 INDIAN TRL
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JCP 11029 LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

TABIRA JACOB M & MARIA A
4 INDIAN TRL
ROCKWALL, TX 75087

DAVIS LISA M
402 S GOLIAD ST
ROCKWALL, TX 75087

STEPHENS MARK B & JULIANNE S
5 AMITY LN
ROCKWALL, TX 75087

HOWLAND JERRY
5 INDIAN TRL
ROCKWALL, TX 75087

TABIRA JACOB M & MARIA A
574 GARRETT DR
ROCKWALL, TX 75087

RBB/GCF PROPERTIES LP
P O BOX 1526
AUSTIN, TX 78767

ATHEY JACKIE RAY
P.O. BOX 219
LAVON, TX 75166

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

WACK LINDSEY P & DONNETTE
PO BOX 2545
ROCKWALL, TX 75087

GRIFFIN PATTY CORNELIUS
PO BOX 511
FATE, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-017: Zoning Change from AG to LI

Hold a public hearing to discuss and consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of RBB/GCF Properties, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-017: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



75087-373705



PLEASE RETURN THE BELOW FORM

Case No. Z2021-017: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

THIS REQUEST & PROPOSAL ALIGNS WITH THE CITY'S
FUTURE LAND USE PLAN.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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RE
A
1
Sea
Roc
TX

PLEASE RETURN THE BELOW FORM

Case No. Z2021-017: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Lisa M. DAVIS

Address: 1 Amity LN.

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

Case No. Z2021-017: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty form area for comments]

Name: ROBERT B. BALDWIN III 512/263-1506

Address: 385 S. GOLIAD STREET

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

June 7, 2021

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Dear Mr. Gonzales,

I am writing to express my opposition to the proposed zoning change from Agricultural to Light Industrial, for the 17.03 acre tract of land identified as Tract 4 of the D Harr Survey, Abstract No. 102, City of Rockwall, County of Rockwall, Texas. This tract is located on the south side of Airport Rd. east of the intersection of Airport Rd. and John King Blvd.

My family and I have lived in our home, located in the immediate vicinity of the above-mentioned parcel since 1974. Over the years, the city of Rockwall has grown up around us with residential, commercial and industrial development. I have particular concerns regarding the industrialization of the land down the road from my home for several reasons. An industrial development will increase the traffic, noise and pollution from trucks traveling on the roads. This will be seriously detrimental to the quality of life for those of us residents who live in the area, including presenting a safety hazard to children who live and play in the neighborhood.

Another direct consequence of this building will be the devaluation of my home and property, as our neighborhood will become a less desirable place to live, even in spite of the "buffer zones" that are being proposed around the project. Additionally, my home could likely be subject to increased property taxes as a result of the rezoning.

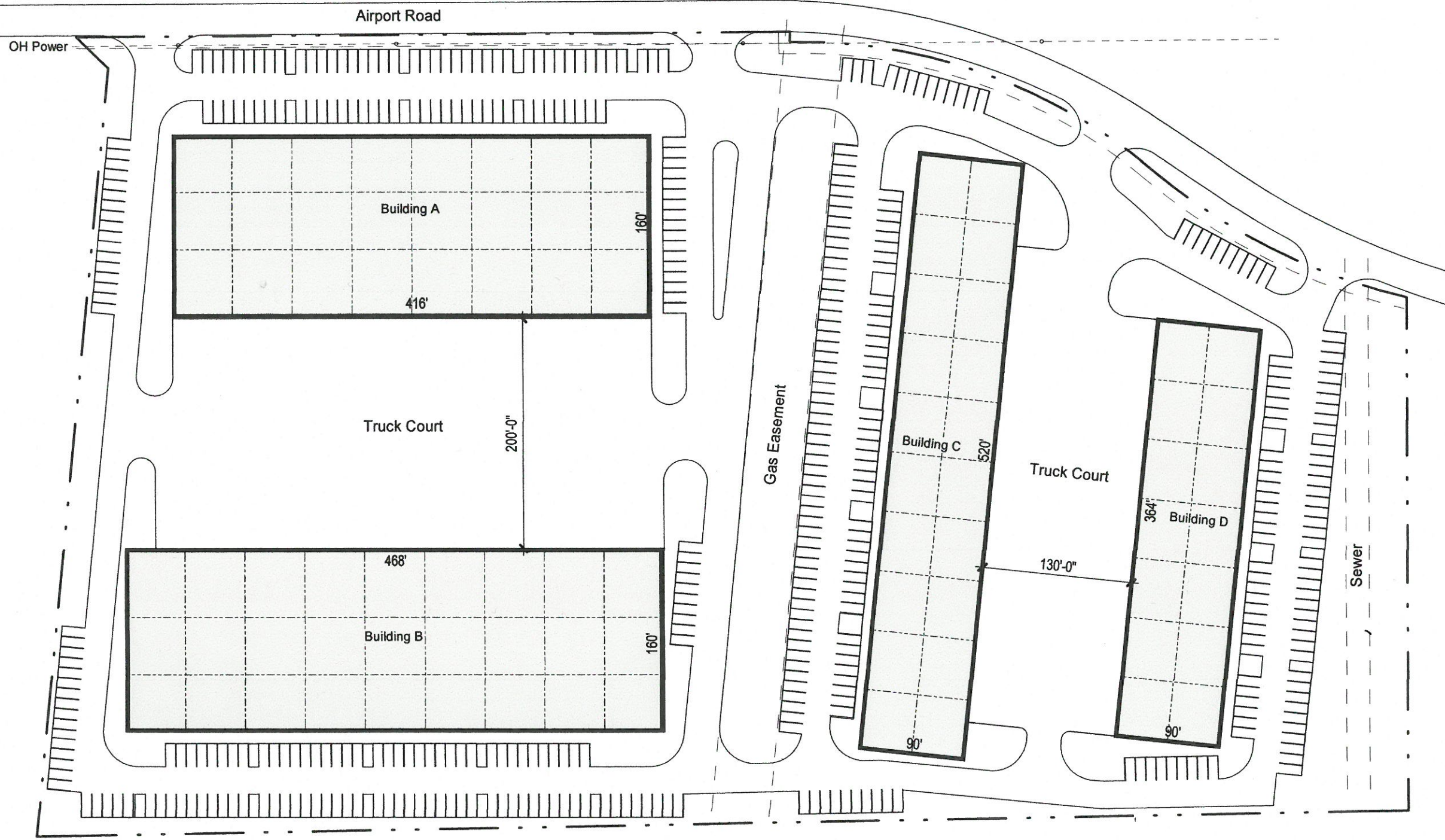
The City of Rockwall sent an official letter and map to notify residents of this proposed zoning change. As a recipient of this letter, I noticed that the city failed to provide an indicator on the legend of the project map for potential project impacts for the surrounding areas marked in green on the map. I am one of the residents who live in the green area of the map. It was only when I called the Planning and Zoning department that I was informed that the areas in green (such as myself) may be subject to increased property taxes as a result of the rezoning. This should have been directly stated in the community letter so as to allow residents to make an informed decision about their support or opposition to the project before the community hearing to be held Monday, June 21, 2021.

I urge the city to reconsider the zoning change from Agricultural to Light Industrial for this property. Please forward this letter to the City Council to consider at the hearing to be held on June 21, 2021.

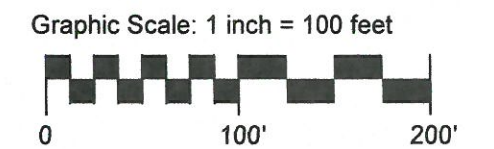
Sincerely,



Mrs. Elsie Joan Parrish
3 Amity Ln.
Rockwall, TX 75087



Entire Site	17.03 ac
Building A	66,560 SF
Building A Parking	110
Building B	74,880 SF
Building B Parking	116
Building C	46,800 SF
Building C Parking	119
Building D	32,760 SF
Building D Parking	90



Airport Road, Rockwall
OPTION 1



DATE: 20XX-XX-XX

DESCRIPTION

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of that 18.07 acres tract of land as described in a Warranty deed from Location Plus, Inc. to Flexible Investments, Inc., dated May 13, 2008 and being recorded in Volume 5462, Page 79 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the North right-of-way line of Union Pacific Railroad, at the Southeast corner of said 18.023 acres tract of land, said point being at the Southwest corner of a 2.90 acres tract of land as described in a Deed to Randy Garrett as recorded in Volume 421, Page 142 of the Real Property Records of Rockwall County, Texas;

THENCE S. 88 deg. 15 min. 46 sec. W. along said right-of-way line, a distance of 1191.90 feet to a 1/2" iron rod found for corner at the Southeast corner of a tract of land as described in a Deed to Ruby L. Athey as recorded in Volume 254, Page 916 of the Real Estate Records of Rockwall County, Texas;

THENCE N. 04 deg. 49 min. 16 sec. E. along the East line of said Athey tract, a distance of 671.76 feet to a 1/2" iron rod found for corner;

THENCE N. 46 deg. 35 min. 55 sec. W. a distance of 38.73 feet to a "x" found chiseled in concrete for corner in the South line of Airport Road at the Northeast corner of said Athey tract;

THENCE N. 88 deg. 56 min. 38 sec. E. along the South line of Airport Road, a distance of 620.20 feet to a 1/2" iron rod found for corner;

THENCE S. 01 deg. 54 min. 33 sec. E. along said right-of-way line, a distance of 8.99 feet to a 1/2" iron rod found for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 41 deg. 28 min. 29 sec., a radius of 470.00 feet, a tangent of 177.95 feet, a chord of S. 71 deg. 10 min. 20 sec. E., 332.84 feet along said right-of-way line, an arc distance of 340.22 feet to a 1/2" iron rod found for corner;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 27 deg. 02 min. 27 sec., a radius of 530.00 feet, a tangent of 127.44 feet, a chord of S. 63 deg. 57 min. 20 sec. E., 247.82 feet along said right-of-way line, an arc distance of 250.14 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 38 min. 11 sec. E. a distance of 446.11 feet to the POINT OF BEGINNING and containing 741,739 square feet or 17.03 acres of land.

BALDWIN INTERESTS

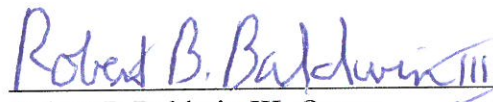
April 29, 2021

Ryan Miller
Director of Planning
385 S. Goliad Street
Rockwall, TX 75087

Re: Letter of Authorization for the submission and processing of a zoning application for approximately 17.03 acres located on Airport Road, Rockwall, TX (the "Property") legally described as: A0102.D HARR TRACT 4, 17.923 ACRES

Mr. Miller:

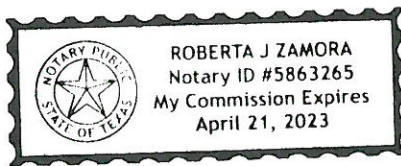
I, Robert B Baldwin III, own the Property. I have contracted to sell the Property with Intrepid Equity Investments, LLC ("Applicant") and do hereby authorize Applicant to file and process a zoning application on the Property and to address related land use matters. This authorization shall remain valid until expressly revoked in writing.


Robert B Baldwin III, Owner

State of Texas

County of Travis

This instrument was acknowledged before me on this 29th day of April, 2021, by Robert B Baldwin III.




Notary Public in and for the State of Texas

Summary of Explanation

This application requests Light Industrial (LI) zoning on the subject property to facilitate the eventual development and construction of approximately 220,000 square feet of warehouse and distribution buildings, delivered in multiple phases. These buildings will be built to flexibly accommodate both regional warehouse users and local office/warehouse requirements that are under-served in Rockwall county area.

Intrepid Equity Investments, which focuses on enabling targeted economic development by developing thoughtful, functional spaces for commerce, or platforms for growth. With that goal, the Applicant appreciates of the opportunity to work with the City of Rockwall on this request and the project. Intrepid's core investment strategy is focused on suburban growth markets similar to that of Rockwall. The goal is always to work in tandem with local authorities to enable projects that cater to businesses that are intentional in creating long-term locations that are beneficial to business, their employees, and the City alike.

Applicant believes that the approval of this request and the subsequent construction of the Project will be additive to the notable and increasing velocity of job creation occurring in Rockwall. Based on initial market reactions to this potential development, Intrepid is confident the Project will be successful.

01 CENTRAL DISTRICT

DISTRICT DESCRIPTION

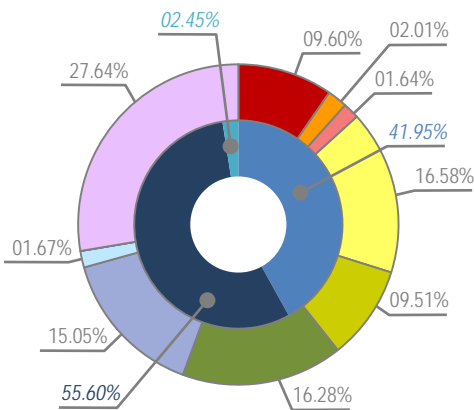
The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

 John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon

DISTRICT STRATEGIES

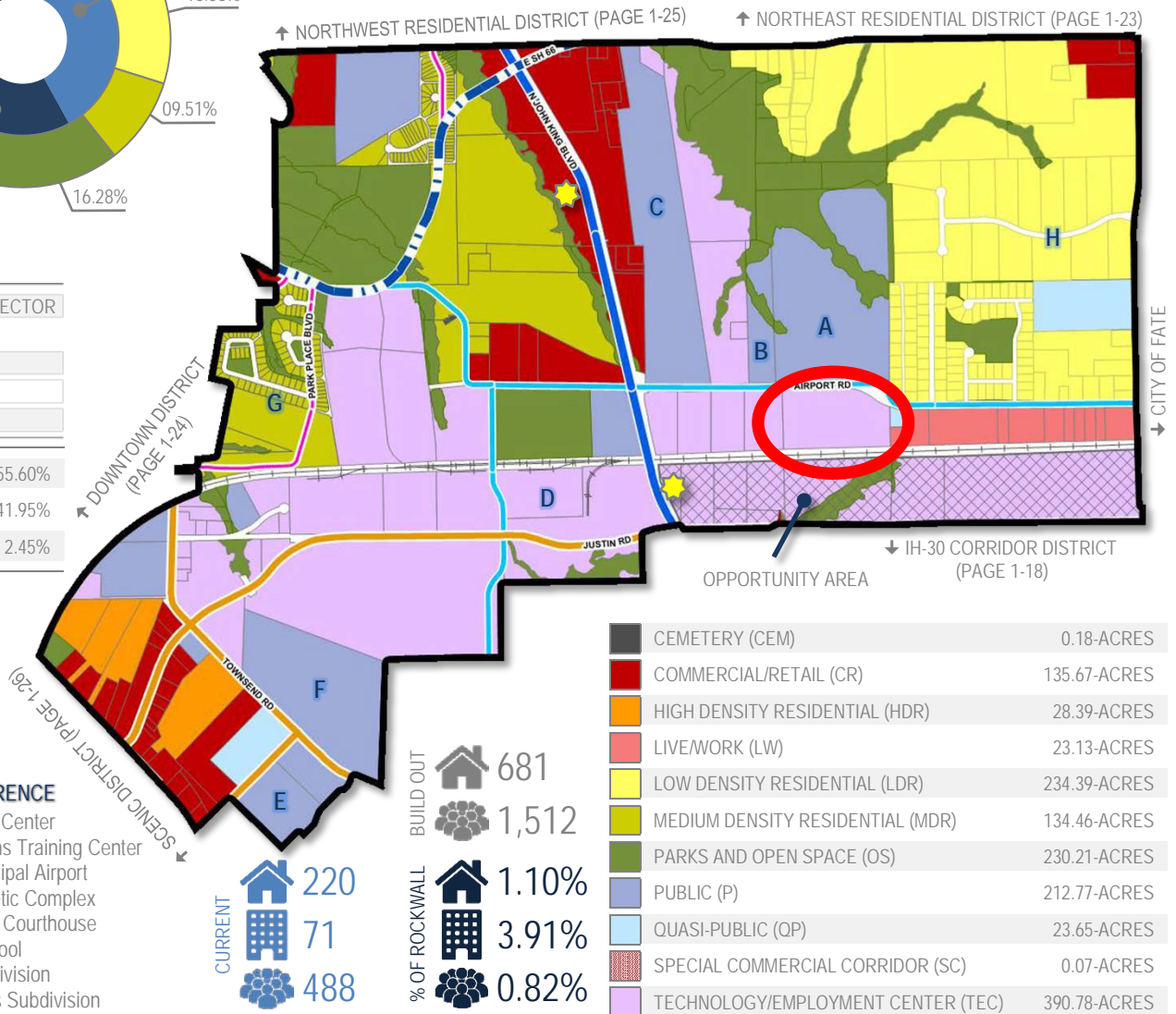
The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (i.e. *Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. *are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



Line Style	Description
Thin pink line	MINOR COLLECTOR
Thick blue line	M4U
Thin blue line	M4D
Thick orange line	P6D
Thin blue line with square	TXDOT 4D




Dark blue square	COMMERCIAL	55.60%
Light blue square	RESIDENTIAL	41.95%
Light green square	MIXED USE	2.45%








POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

CURRENT

-  220
-  71
-  488

% OF ROCKWALL

-  681
-  1,512
-  1.10%
-  3.91%
-  0.82%

	CEMETERY (CEM)	0.18-ACRES
	COMMERCIAL/RETAIL (CR)	135.67-ACRES
	HIGH DENSITY RESIDENTIAL (HDR)	28.39-ACRES
	LIVE/WORK (LW)	23.13-ACRES
	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	134.46-ACRES
	PARKS AND OPEN SPACE (OS)	230.21-ACRES
	PUBLIC (P)	212.77-ACRES
	QUASI-PUBLIC (QP)	23.65-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	0.07-ACRES
	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	390.78-ACRES

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

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Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

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LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

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Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

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Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 17.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Wood of Intrepid Equity Investments, LLC for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the south side of Airport Road, east of the intersection of Airport Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 05.01, *General Industrial District Standards*; and Section 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A'
Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of that 18.07-acres tract of land as described in a Warranty deed from Location Plus, Inc. to Flexible Investments, Inc., dated May 13, 2008 and being recorded in Volume 5462, Page 79 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the North right-of-way line of Union Pacific Railroad, at the Southeast corner of said 18.023-acres tract of land, said point being at the Southwest corner of a 2.90-acres tract of land as described in a Deed to Randy Garrett as recorded in Volume 421, Page 142 of the Real Property Records of Rockwall County, Texas;

THENCE S. 88 deg. 15 min. 46 sec. W. along said right-of-way line, a distance of 1191.90-feet to a 1/2" iron rod found for corner at the Southeast corner of a tract of land as described in a Deed to Ruby L. Athey as recorded in Volume 254, Page 916 of the Real Estate Records of Rockwall County, Texas;

THENCE N. 04 deg. 49 min. 16 sec. E. along the East line of said Athey tract, a distance of 671.76-feet to a 1/2" iron rod found for corner;

THENCE N. 46 deg. 35 min. 55 sec. W. a distance of 38.73-feet to a "x" found chiseled in concrete for corner in the South line of Airport Road at the Northeast corner of said Athey tract;

THENCE N. 88 deg. 56 min. 38 sec. E. along the South line of Airport Road, a distance of 620.20-feet to a 1/2" iron rod found for corner;

THENCE S. 01 deg. 54 min. 33 sec. E. along said right-of-way line, a distance of 8.99-feet to a 1/2" iron rod found for corner;

THENCE in a Southeasterly direction along a curve to the right having a central angle of 41 deg. 28 min. 29 sec., a radius of 470.00-feet, a tangent of 177.95-feet, a chord of S. 71 deg. 10 min. 20 sec. E., 332.84-feet along said right-of-way line, an arc distance of 340.22-feet to a 1/2" iron rod found for corner;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 27 deg. 02 min. 27 sec., a radius of 530.00-feet, a tangent of 127.44-feet, a chord of S. 63 deg. 57 min. 20 sec. E., 247.82-feet along said right-of-way line, an arc distance of 250.14-feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 38 min. 11 sec. E. a distance of 446.11-feet to the POINT OF BEGINNING and containing 741,739 square-feet or 17.03-acres of land.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 15, 2021

APPLICANT: Dan Gallagher, PE; *Kimley-Horn and Associates, Inc.*

CASE NUMBER: Z2021-018; *Zoning Change from Agricultural (AG) District to Light Industrial (LI) District at the intersection of Corporate Crossing [FM-549] and Capital Boulevard*

SUMMARY

Hold a public hearing to discuss and consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the Hitt Family, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 85-69* annexing the subject property on December 3, 1985. At the time of annexation, the subject property was zoned as Agricultural (AG) District. No portion of the subject property has been rezoned or developed since it was annexed.

PURPOSE

On May 14, 2021, the applicant -- *Dan Gallagher, PE of Kimley-Horn and Associates* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. The purpose of the zoning request is to facilitate the future development of the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several properties zoned Agricultural (AG) and Light Industrial (LI) Districts (*i.e. Service King, Rockwall Kia, Lakeside Auto Auction, Pro Soap, Cavender's Boot City, Love's, etc.*), which are adjacent to IH-30 Frontage Road. Beyond this are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads for IH-30.

South: Directly south of the subject property is the Phase 1, of the Rockwall Technology Park Addition, which is zoned Light Industrial (LI) District. This area includes several existing industrial and manufacturing businesses (*e.g. Rockwall Economic Development Corporation (REDC), Pegasus Foods, Interstate Wire Company, Lime Media, L-3 Communications, and etc.*). Adjacent to this portion of the Phase 1, Rockwall Technology Park Addition is Discovery Boulevard, which is identified as a *M4U (i.e. major collector, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the continuation of the Phase 1, Rockwall Technology Park Addition, which includes several existing industrial and manufacturing businesses (*e.g. Fine Wire, Hatfield and Company, Specialty Products, and etc.*). Following this is SH-276, which is identified as a *TXDOT6D (i.e. a Texas Department of Transportation [TXDOT], six [6] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of and adjacent to Corporate Crossing [FM-3594] is Phase 4, of the Rockwall Technology Park Addition. This phase of the Technology Park includes a few tracts of vacant land and two (2) manufacturing businesses (i.e. Lollicup and Pratt Industries). These properties are zoned Light Industrial (LI) District. Beyond this are two (2) vacant tracts of land owned by the Rockwall Economic Development Corporation (i.e. Tract 6 [77.148-acres] and Tract 5 [60.3-acres], of the J. H. B. Jones Survey, Abstract No. 125) zoned Light Industrial (LI) District.

West: Directly west of the subject property is Rockwall Mini Storage (9.90-acres) and Park Place RV (4.9784-acres). Both properties are zoned Light Industrial (LI) District. Continuing east is Nissan of Rockwall (14.70-acres), which is zoned Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (i.e. principle arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

- (1) Water Improvements. The development will be required to tie to the existing 16-inch waterline on the west side of Corporate Crossing [FM-3549].
- (2) Sewer Improvements. The development will be required to tie to the existing ten (10) inch sanitary sewer line located along the northern property line of the subject property.
- (3) Roadways. The Master Thoroughfare Plan contained in the Comprehensive Plan indicates Corporate Crossing [FM-3549] is identified as a TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway), which requires a minimum of a 120-foot right-of-way. The applicant is responsible for dedicating any additional right-of-way (i.e. as measured 60-feet from the centerline of the roadway) necessary for this roadway at the time final plat.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual*.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and, in which] (l)imitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities." The Light Industrial (LI) District is also intended to facilitate the development of industrial parks and larger, cleaner types of industries. This section of the code goes on to state that "(s)ince this zoning district accommodates limited industrial activities that require substantial screening and buffering requirements, the Light Industrial (LI) District is a suitable zoning designation for high visibility locations (e.g. IH-30 and SH-276) or within a reasonable distance of residential areas as long as they are separated by an appropriate amount of open space...(a)reas should not be zoned to Light Industrial (LI) District unless they are located on or close to an arterial capable of carrying commercial truck traffic." In this case, the applicant's adjacency is next to Corporate Crossing [FM-3549], which is defined as a TXDOT4D (i.e. a Texas Department of Transportation, four [4] lane, divided roadway), which is capable of carrying the anticipated traffic volumes for any industrial development of the subject property. In addition, the adjacencies of the subject property are all already zoned Light Industrial (LI) District with the exception of a few parcels of land adjacent to IH-30 that are zoned Agricultural (AG) District. These properties and the majority of the IH-30 frontage is separated from the subject property by a large floodplain that has large mature trees. This property appears to conform with the intent of the Light Industrial (LI) District.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Technology District and is designated for Technology/Employment Center land uses. According to the Comprehensive Plan, the Technology District is "...characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base. This area benefits from easy access to IH-30 from John King Boulevard, Corporate Crossing, and SH-276 via SH-205." The applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, is in conformance with the Technology/Employment Center land use designation and appears to be in conformance with the District Strategies for the Technology District. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. The Land Use Plan contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Since the proposed zoning change is in conformance to the Future Land Use Plan, the proposed zoning change does not change the mix of residential to non-residential land uses. This balance remains at 75.90% residential land uses to 24.10% non-residential land uses. With this being said, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 20, 2021, staff mailed 26 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had received the following:

- (1) Two (2) property owner notifications from property owners within the notification area (i.e. within the 500-foot buffer) that are in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1515 Corporate Crossing

SUBDIVISION Unplatted - John Lockhard Survey Abstract No. 134 LOT N/A (unplatted) BLOCK N/A

GENERAL LOCATION West of intersection of Corporate Crossing and Capital Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE Undeveloped

PROPOSED ZONING LI PROPOSED USE Warehouse

ACREAGE 43.237 AC LOTS [CURRENT] N/A LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Hitt Family, L.P.

APPLICANT Kimley-Horn and Associates, Inc.

CONTACT PERSON L.R. Tipton

CONTACT PERSON Dan Gallagher, P.E.

ADDRESS 3412 S. FM 548

ADDRESS 13455 Noel Road
Suite 700

CITY, STATE & ZIP Royse City Tx 75181

CITY, STATE & ZIP Dallas, TX 75240

PHONE 214 213 5087

PHONE 972-776-1780

E-MAIL lrtip@yahoo.com

E-MAIL dan.gallagher@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

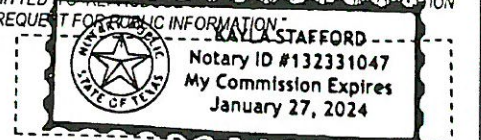
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED L.R. Tipton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 800 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF MAY, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF MAY, 2021.


OWNER'S SIGNATURE

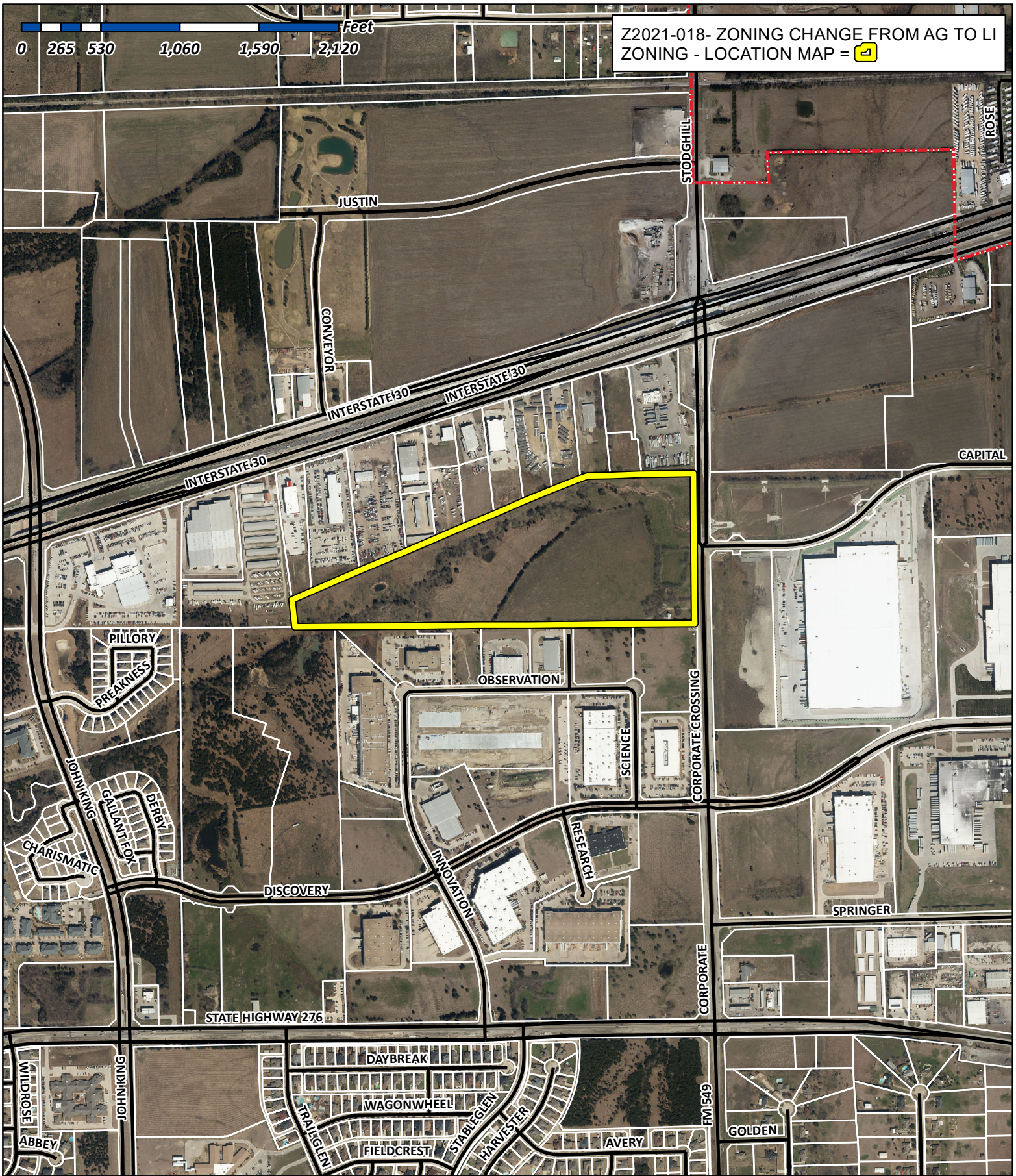
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES JAN 27 2024

0 265 530 1,060 1,590 2,120 Feet

Z2021-018- ZONING CHANGE FROM AG TO LI
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

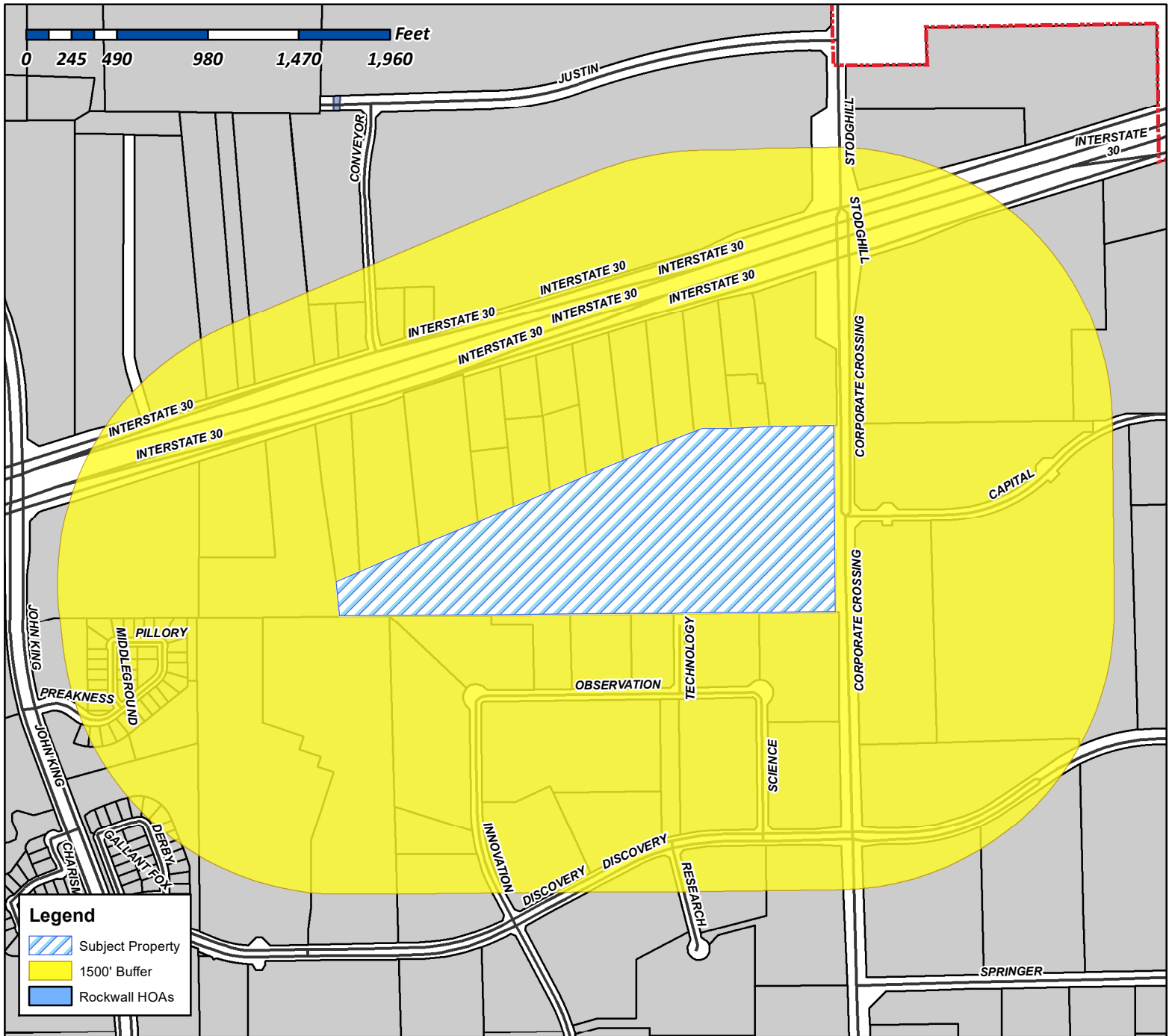




City of Rockwall

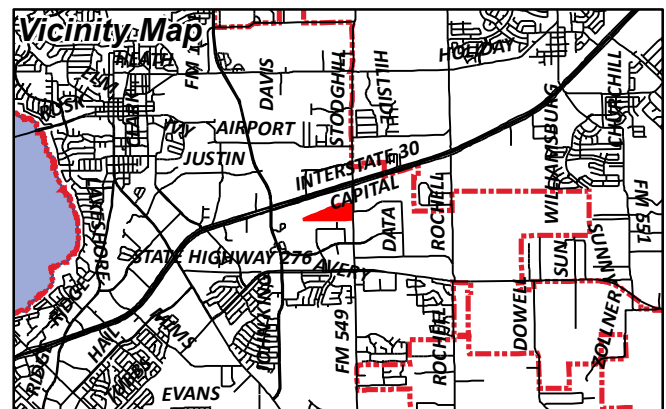
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Case Number: Z2021-018
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: West of Intersection of Capital Blvd. & Corporate Crossing

Date Created: 5/17/2021
For Questions on this Case Call (972) 771-7745

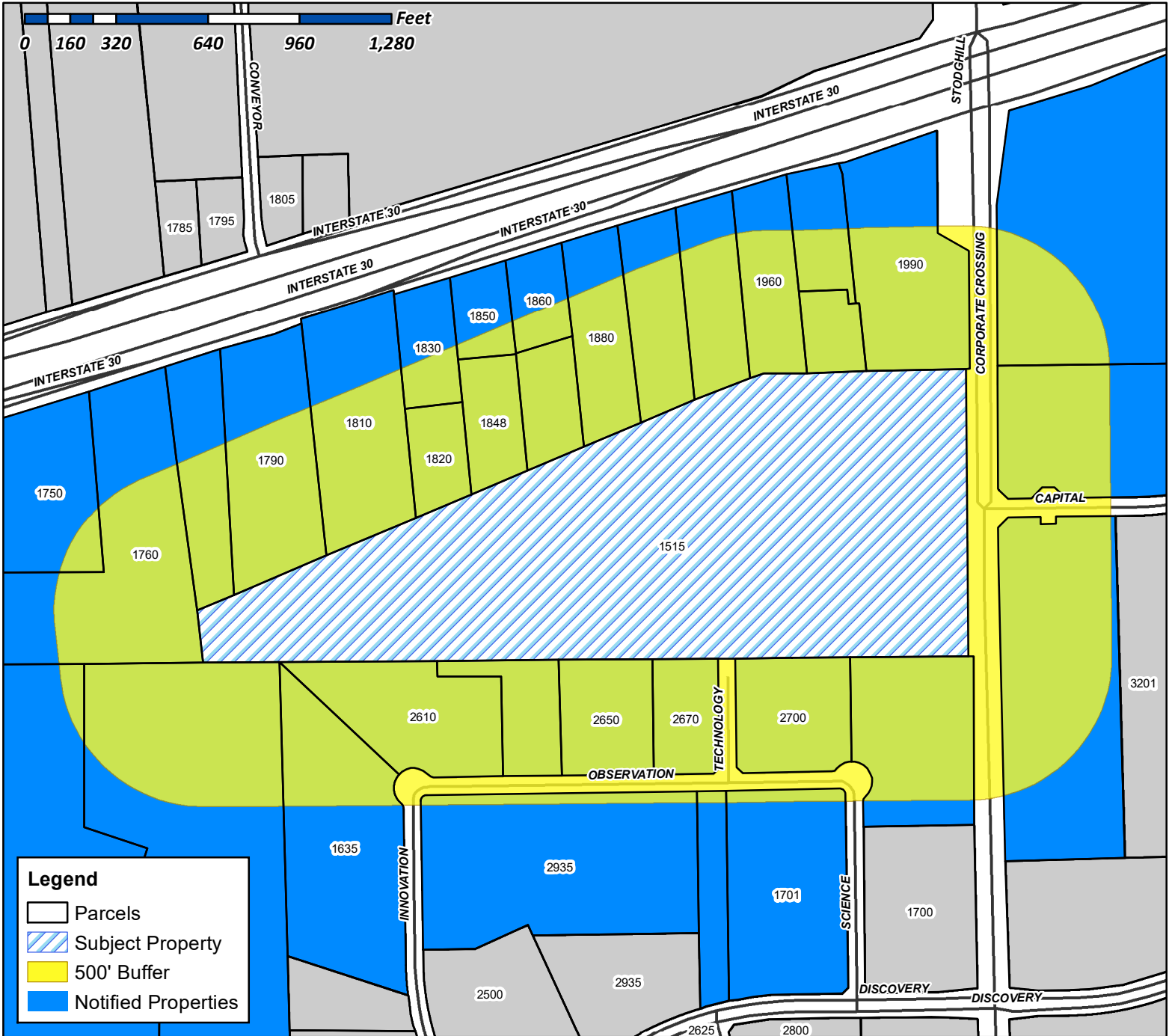




City of Rockwall

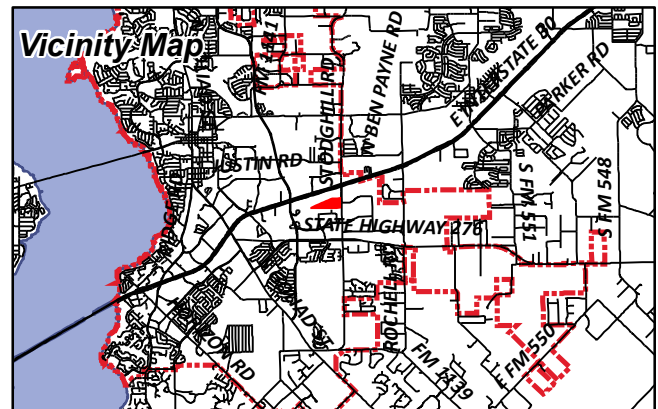
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 = RESPONSE

BROWN MICHAEL
10661 FM 1565
TERRELL, TX 75160

LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

HITT FAMILY LIMITED PARTNERSHIP
1515 CORPORATE CROSSING
ROCKWALL, TX 75032

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
1635 INNOVATIONDR
ROCKWALL, TX 75032

BELLE HAVEN REALTY CO
A CALIFORNIA CORPORATION
1690 WOODSIDE RD STE 120
REDWOOD CITY, CA 94061

BELLE HAV/TEX LP
1701 SCIENCE PLACE
ROCKWALL, TX 75032

DEN-MAR ENTERPRISES INC
1750 E I30
ROCKWALL, TX 75032

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
1760 E I30
ROCKWALL, TX 75032

SALEHOUN FAMILY LIMITED PARTNERSHIP
1790 E I30
ROCKWALL, TX 75032

ROCKWALL AA RE LLC
1810 S I30
ROCKWALL, TX 75032

ROCKWALL STORAGE SOLUTIONS LLC
1820 E I30
ROCKWALL, TX 75032

SELF SCOTT
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

SELF SCOTT
1848 E I30
ROCKWALL, TX 75032

GENESTA PARTNERSHIP
1850 E INTERSTATE 30
ROCKWALL, TX 75087

MYASIN INVESTMENTS LLC
1860 EAST INTERSTATE 30
ROCKWALL, TX 75087

CAVENDER INVESTMENT PROPERTIES E LTD
1880 I30 RD
ROCKWALL, TX 75032

BROWN MICHAEL
1960 E I30
ROCKWALL, TX 75032

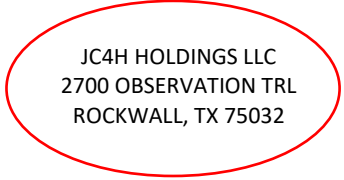
LOVE'S COUNTRY STORES INC
1990 E I30
ROCKWALL, TX 75032

ROBINO GIANLUCA & MARY C GOSS
2036 STRADELLA RD
LOS ANGELES, CA 90077

JBC LAND & CATTLE COMPANY LLC
2610 OBSERVATION TRL
ROCKWALL, TX 75032

PRECISION SHEET METAL SHOP INC
2650 OBSERVATION TRL
ROCKWALL, TX 75032

KRT ENTERPRISES INC
2670 OBSERVATION TRL
ROCKWALL, TX 75032

 JC4H HOLDINGS LLC
2700 OBSERVATION TRL
ROCKWALL, TX 75032

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

J R FLEMING INVESTMENTS LLC
2935 OBSERVATION TRAIL
ROCKWALL, TX 75032

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

JC4H HOLDINGS LLC
4951 GRISHAM DRIVE
ROWLETT, TX 75088

CAPSTAR HOLDINGS CORPORATION
C/O CSW INDUSTRIALS
5420 LYNDON B JOHNSON FREEWAY SUITE 500
DALLAS, TX 75240

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

SWBC ROCKWALL LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

CAVENDER INVESTMENT PROPERTIES E LTD
7820 SOUTH BROADWAY
TYLER, TX 75703

HITT FAMILY LIMITED PARTNERSHIP
7836 YAMINI DR
DALLAS, TX 75230

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

KRT ENTERPRISES INC
PO BOX 1103
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

J R FLEMING INVESTMENTS LLC
PO BOX 489
ROCKWALL, TX 75087

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-018: Zoning Change from AG to LI

Hold a public hearing to discuss and consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the Hitt Family, LP for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-018: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PROPERTY DESCRIPTION:

BEING a tract of land situated in the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a part of a called 44.5 acre tract described as the "Second Tract" in the Warranty Deed from H.M. Gray to F.D. Hitt, recorded in Volume 42, Page 569 of the Deed Records of Rockwall County, Texas, and conveyed to the Hitt Family Limited Partnership by deed recorded in Volume 1875, Page 238 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found in the west right-of-way line of F.M. 549 (Corporate Crossing - a variable width right-of-way) the northwest corner of a called 0.373 acre tract described as a Right-of-Way Dedication in the Warranty Deed to the City of Rockwall recorded in Instrument No. 2011-00451623, Official Public Records, Rockwall County, Texas;

THENCE with said west right-of-way line, the following courses and distances:

South 0°45'31" West, a distance of 54.87 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;

South 0°42'48" East, a distance of 948.61 feet to a 1/2-inch iron rod with plastic cap stamped "Wier & Associates" found at the southwest corner of said 0.373 acre tract;

THENCE South 89°29'36" West, passing at a distance of 15.00 feet the northeast corner of Lot 2 Block E of said Rockwall Technology Park, with the common line of said 44.5 acre tract and the following tracts of land: said Lot 2, Block E, Lot 4, Block E, of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2020000009932, Plat Records, Rockwall County, Texas; the north terminus line of Technology Way (a 50-foot right-of-way), as shown on plat recorded under Cabinet D, Slide 175, Plat Records, Rockwall County, Texas; Lot 1, Block C, of Nolan Power Building, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 259, Plat Records, Rockwall County, Texas; Lots 2, 3R, and 4, Block C, of Rockwall Technology Park, an addition to the City of Rockwall, Texas; according to the plat thereof recorded in Cabinet E, Slide 329, Plat Records, Rockwall County, Texas; and a called 21.280 acre tract of land described in the Special Warranty Deed to SWBC Rockwall, LP, recorded in Instrument No. 20180000000613, Official Public Records, Rockwall County, for a total distance of 2689.40 feet to the southwest corner of said 44.5 acre tract of land;

THENCE North 3°00'29" West, a distance of 184.74 feet to a 1/2-inch iron rod found in the south line of Lot 1, Block 1, of Service King IH-30, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet J, Slide 109, Plat Records, Rockwall County, Texas;

THENCE North 67°13'27" East, with the common line of said 44.5 acre tract and the following tracts of land: Lot 1, Block 1 of said Service King IH-30 addition; Lot 1, Block 1, of Rockwall Kia, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 279, Plat Records, Rockwall County, Texas; a called 6.01 acre tract of land described in the Special Warranty Deed to Rockwall AA RE LLC, recorded in Instrument No. 20190000011194, Official Public Records, Rockwall County, Texas; a called 1.6291 acre tract of land described in the Warranty Deed with Vendor's Lien to Rockwall Storage Solutions, LLC, recorded in Instrument No. 20140000010313, Official Public Records, Rockwall County, Texas; Lot 2, DBK Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 241, Plat Records, Rockwall County, Texas; a called 1.86 acre tract of land described in the Warranty Deed to Myasin Investments, LLC, recorded in Instrument No. 20180000016565, Official Public Records, Rockwall County, Texas; Lot 1, Block 1, Cavender's Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2015000003652, Official Public Records, Rockwall County, Texas; a called 6.2475 acre tract of land described in the Warranty Deed to Michael F. Moore, recorded in Instrument No. 2003000275494, Official Public Records, Rockwall County, Texas; and Lot 1, Block 1, YA-HOO Subdivision, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 342, Plat Records, Rockwall County, Texas; for a total distance of 2144.85 feet to an angle point in the common line of said 44.5 acre tract of land and said YA-HOO Subdivision, from which a fence corner bears South 85°24' West, 1.4 feet and a 3/8-inch iron rod bears South 57°37'00" West, 1.4 feet;

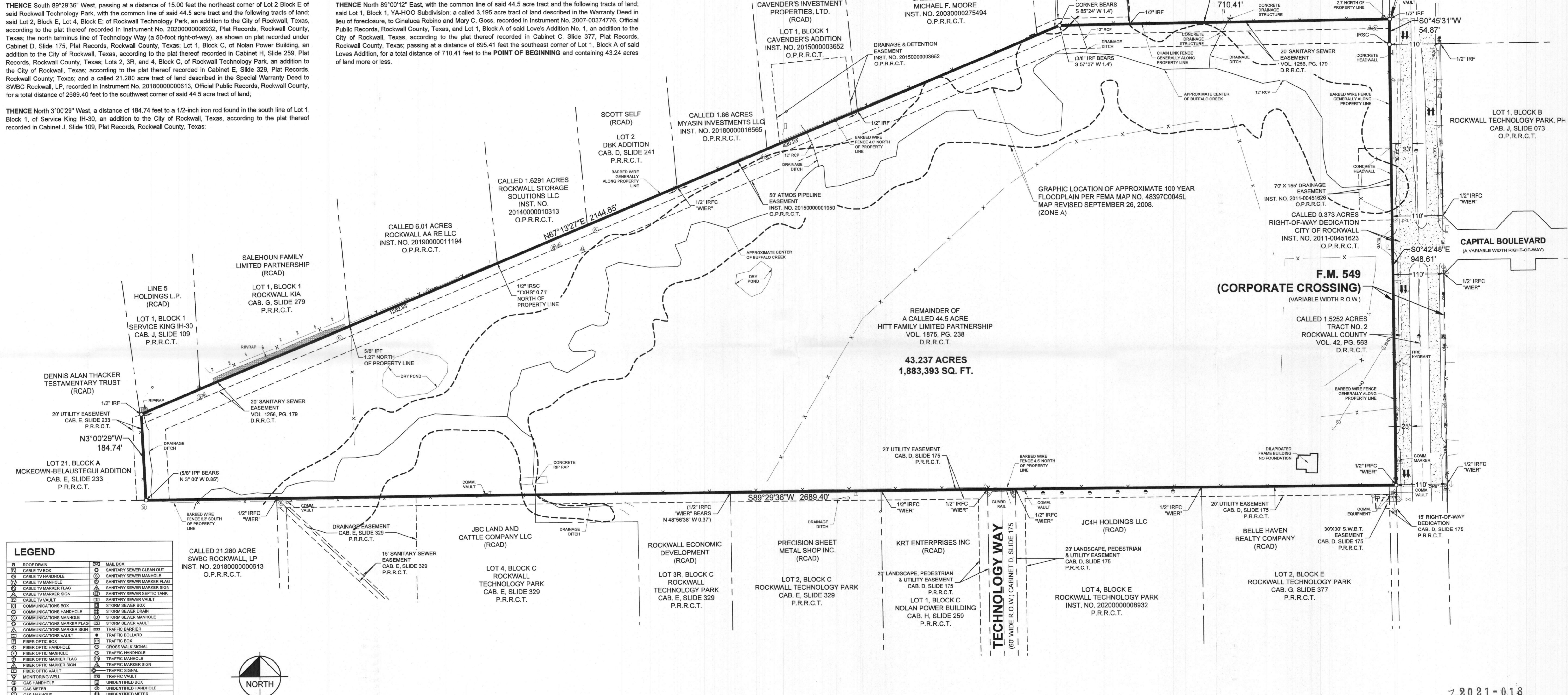
THENCE North 89°00'12" East, with the common line of said 44.5 acre tract and the following tracts of land: said Lot 1, Block 1, YA-HOO Subdivision; a called 3.195 acre tract of land described in the Warranty Deed in lieu of foreclosure, to Gianluca Robino and Mary C. Goss, recorded in Instrument No. 2007-00374776, Official Public Records, Rockwall County, Texas; and Lot 1, Block A of said Love's Addition No. 1, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Slide 377, Plat Records, Rockwall County, Texas; passing at a distance of 695.41 feet the southeast corner of Lot 1, Block A of said Loves Addition No. 1, for a total distance of 710.41 feet to the POINT OF BEGINNING and containing 43.24 acres of land more or less.

NOTES:

- Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.
- No parking areas or stripes were observed or indicated at the time of survey.
- No visible evidence of current earth moving work, building construction or building additions were observed at the time of survey.
- Surveyor is not aware if a Wetland Specialist was engaged to delineate wetlands. No wetland markers were observed at the time of survey.

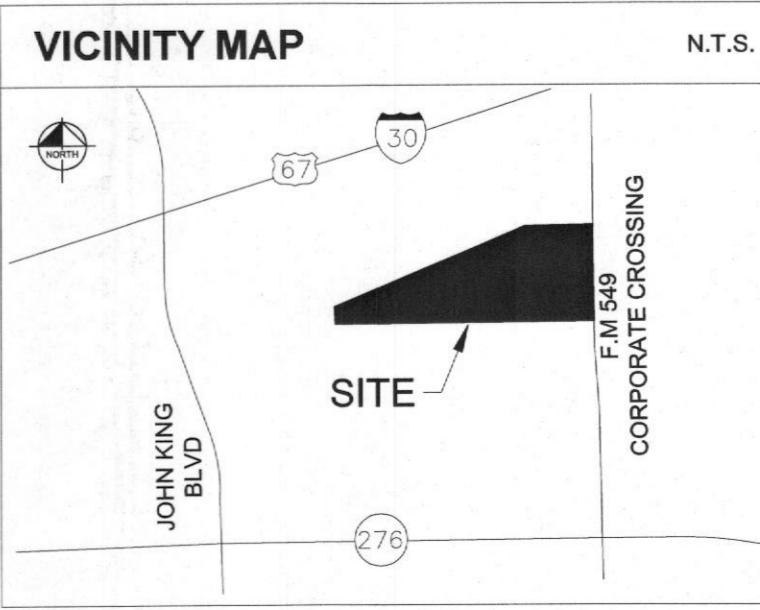
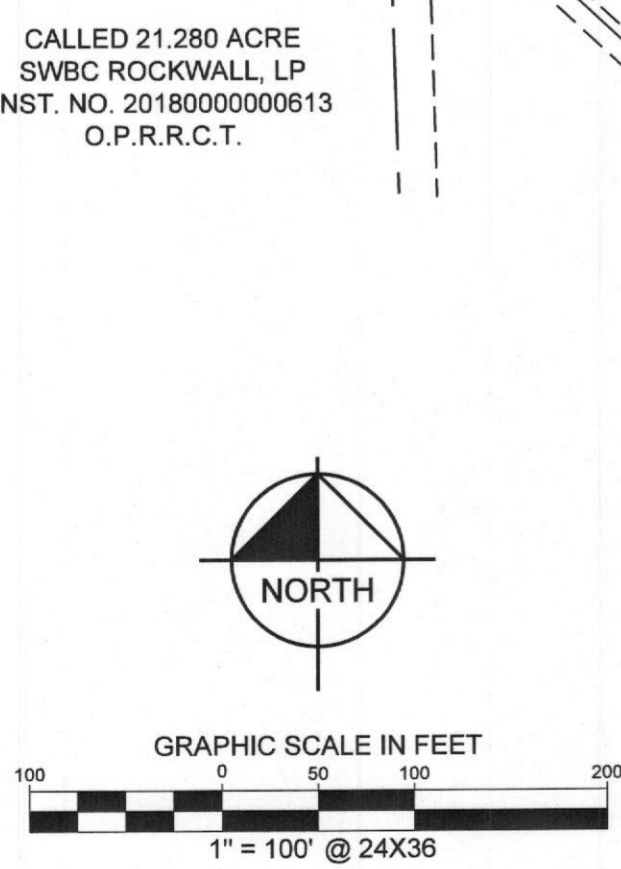
FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0045L for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone A defined as "Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.



LEGEND

ROOF DRAIN	MAIL BOX
CABLE TV BOX	SANITARY SEWER CLEAN OUT
CABLE TV HANDHOLE	SANITARY SEWER MANHOLE
CABLE TV MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV MARKER FLAG	SANITARY SEWER MARKER SIGN
CABLE TV MARKER SIGN	SANITARY SEWER SEPTIC TANK
CABLE TV VAULT	SANITARY SEWER VAULT
COMMUNICATIONS BOX	STORM SEWER BOX
COMMUNICATIONS HANDHOLE	STORM SEWER DRAIN
COMMUNICATIONS MANHOLE	STORM SEWER MANHOLE
COMMUNICATIONS MARKER FLAG	STORM SEWER VAULT
COMMUNICATIONS MARKER SIGN	TRAFFIC BARRIER
COMMUNICATIONS VAULT	TRAFFIC BOLLARD
FIBER OPTIC BOX	TRAFFIC BOX
FIBER OPTIC HANDHOLE	CROSS WALK SIGNAL
FIBER OPTIC MANHOLE	TRAFFIC HANDHOLE
FIBER OPTIC MARKER FLAG	TRAFFIC MARKER
FIBER OPTIC MARKER SIGN	TRAFFIC MARKER SIGN
FIBER OPTIC VAULT	TRAFFIC SIGNAL
MONITORING WELL	TRAFFIC VAULT
GAS HANDHOLE	UNIDENTIFIED BOX
GAS METER	UNIDENTIFIED HANDHOLE
GAS MANHOLE	UNIDENTIFIED METER
GAS MARKER FLAG	UNIDENTIFIED MANHOLE
GAS MARKER SIGN	UNIDENTIFIED MARKER FLAG
GAS SIGN	UNIDENTIFIED MARKER SIGN
GAS TANK	UNIDENTIFIED TANK
GAS VAULT	UNIDENTIFIED VAULT
GAS VALVE	UNIDENTIFIED VALVE
TELEPHONE BOX	TREE
TELEPHONE HANDHOLE	WATER BOX
TELEPHONE MANHOLE	FIRE SEPT. CONNECTION
TELEPHONE MARKER FLAG	WATER HAND HOLE
TELEPHONE MARKER SIGN	WATER METER
TELEPHONE VAULT	WATER MANHOLE
PIPELINE MARKER SIGN	WATER MARKER FLAG
ELECTRIC BOX	WATER MARKER SIGN
FLOOD LIGHT	WATER VAULT
GUY ANCHOR POLE	WATER VALVE
ELECTRIC HANDHOLE	WATER WELL
ELECTRIC VAULT	WATER VALVE
ELECTRIC METER	AIR RELEASE VALVE
ELECTRIC MANHOLE	WATER VAULT
ELECTRIC MARKER FLAG	IRISC 50" IRON ROD W/ "KHA" CAP SET
ELECTRIC MARKER SIGN	IRISC 50" IRON ROD W/ CAP FOUND
UTILITY POLE	IRON ROD FOUND
ELECTRIC TRANSFORMER	IRON PIPE FOUND
ELECTRIC VAULT	"X" CUT IN CONCRETE FOUND
HANDICAPPED PARKING	STORM SEWER LINE
"S" SIGN	UNDERGROUND GAS LINE
MARKER/REBAR BOARD	OVERHEAD UTILITY LINE
FLAG POLE	UNDERGROUND ELECTRIC LINE
P.R.R.C.T. PLAT RECORDS ROCKWALL	UNDERGROUND TELEPHONE LINE
GREASE TRAP	COUNTY TEXAS
D.R.R.C.T. DEED RECORDS ROCKWALL	FENCE
ROCKWALL COUNTY TEXAS	COUNTY TEXAS
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT



NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

- (Pursuant to Commitment for Title Insurance, issued by First National Title Insurance Company, GF. No. 20-525575-DB, effective date September 13, 2020, issued September 29, 2020.)
- The 20' Sanitary Sewer easement to the City of Rockwall, recorded in Volume 1256, Page 179, Deed Records, Rockwall County, Texas, as shown hereon.
 - The surveyed property is a portion of the property described as Tract Two in Oil, Gas and Mineral Lease, recorded in Volume 151, Page 80, Deed Records, Rockwall County, Texas. This survey does not provide a determination or opinion concerning the mineral estates and interests and all rights incident thereto in the above recorded document. Only the mineral estate's location relative to the surveyed property was determined by the surveyor.
 - The surveyed property is a portion of the property described in Agreement Regarding Permission to Maintain Drainage System and Drain Onto Property, recorded in Volume 3445, Page 65, Deed Records, Rockwall County, Texas. No easement was defined.
 - The 70' x 155' drainage easement to the City of Rockwall, recorded in Volume 6477, Page 208, Deed Records, Rockwall County, Texas, as shown hereon.
 - The 50' pipeline easement to Atmos Energy Corporation recorded under Clerk's File No. 2015000001950, Real Property Records, Rockwall County, Texas, as shown hereon.

SURVEYOR'S CERTIFICATION:

To: Stream Realty Acquisition, L.L.C.;
The Hitt Family Limited Partnership;
Capital Title of Texas, LLC; and
First National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 13, 16 and 18 of Table A thereof.

The field work was completed on November 2, 2020.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

David J. De Weirtd Date
Registered Professional Land Surveyor No. 5066
Kinley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
david.deweirtd@kimley-horn.com

2021-018

ALTA/NSPS LAND TITLE SURVEY
43.237 ACRES
JOHN LOCKHART SURVEY,
ABSTRACT NO. 134
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DWP	DJD	MAY 2021	068213100	1 OF 1

D:\WORK\2021\018\ROCKWALL\134\018.DWG - PLOTTED BY: WOFFORD, MATT 08/26/21 3:14 PM LAST SAVED: 8/26/21 2:52 PM

ZONING DESCRIPTION

"ROCKWALL HITT TRACT"

BEING a tract of land situated in the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a part of a called 44.5 acre tract described as the "Second Tract" in the Warranty Deed from H.M. Gray to F.D. Hitt, recorded in Volume 42, Page 569 of the Deed Records of Rockwall County, Texas, and conveyed to the Hitt Family Limited Partnership by deed recorded in Volume 1875, Page 238 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a point in the west right-of-way line of F.M. 549 (Corporate Crossing - a variable width right-of-way) and being the northwest corner of a called 0.373 acre tract of land described as a Right-of Way Dedication in the Warranty Deed to the City of Rockwall recorded in Instrument No. 2011-00451623, Official Public Records, Rockwall County, Texas;

THENCE with said west right-of-way line, the following courses and distances:

South 0°45'31" West, a distance of 54.87 feet;

South 0°42'48" East, a distance of 948.61 feet to the southwest corner of said 0.373 acre tract;

THENCE South 89°29'36" West, passing at a distance of 15.00 feet the northeast corner of Lot 2 Block E of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 377, Plat Records, Rockwall County, Texas; continuing with the common line of said 44.5 acre tract and the following tracts of land; said Lot 2, Block E, Lot 4, Block E; of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20200000008932, Plat Records, Rockwall County, Texas; the north terminus line of Technology Way (a 50-foot right-of-way), as shown on plat recorded under Cabinet D, Slide 175, Plat Records, Rockwall County, Texas; Lot 1, Block C, of Nolan Power Building, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 259, Plat Records, Rockwall County, Texas; Lots 2, 3R, and 4, Block C, of Rockwall Technology Park, an addition to the City of Rockwall, Texas; according to the plat thereof recorded in Cabinet E, Slide 329, Plat Records, Rockwall County, Texas; and a called 21.280 acre tract of land described in the Special Warranty Deed to SWBC Rockwall, LP, recorded in Instrument No. 20180000000613, Official Public Records, Rockwall County, for a total distance of 2689.40 feet to the southwest corner of said 44.5 acre tract of land;

THENCE North 3°00'29" West, a distance of 184.74 feet to the south line of Lot 1, Block 1, of Service King IH-30, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet J, Slide 109, Plat Records, Rockwall County, Texas;

THENCE North 67°13'27" East, with the common line of said 44.5 acre tract and the following tracts of land; Lot 1, Block 1 of said Service King IH-30 addition; Lot 1, Block 1, of Rockwall Kia, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 279, Plat Records, Rockwall County, Texas; a called 6.01 acre tract of land described in the

Special Warranty Deed to Rockwall AA RE LLC, recorded in Instrument No. 20190000011194, Official Public Records, Rockwall County, Texas; a called 1.6291 acre tract of land described in the Warranty Deed with Vendor's Lien to Rockwall Storage Solutions, LLC, recorded in Instrument No. 20140000010313, Official Public Records, Rockwall County, Texas; Lot 2, DBK Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 241, Plat Records, Rockwall County, Texas; a called 1.86 acre tract of land described in the Warranty Deed to Myasin Investments, LLC, recorded in Instrument No. 20180000016565, Official Public Records, Rockwall County, Texas; Lot 1, Block 1, Cavender's Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2015000003652, Official Public Records, Rockwall County, Texas; a called 6.2475 acre tract of land described in the Warranty Deed to Michael F. Moore, recorded in Instrument No. 20030000275494, Official Public Records, Rockwall County, Texas; and Lot 1, Block 1, YA-HOO Subdivision, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 342, Plat Records, Rockwall County, Texas; for a total distance of 2144.85 feet to an angle point in the common line of said 44.5 acre tract of land and said YA-HOO Subdivision;

THENCE North 89°00'12" East, with the common line of said 44.5 acre tract and the following tracts of land; said Lot 1, Block 1, YA-HOO Subdivision; a called 3.195 acre tract of land described in the Warranty Deed in lieu of foreclosure, to Ginaluca Robino and Mary C. Goss, recorded in Instrument No. 2007-00374776, Official Public Records, Rockwall County, Texas, and Lot 1, Block A, of Love's Addition No. 1, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Slide 377, Plat Records, Rockwall County, Texas; passing at a distance of 695.41 feet the southeast corner of Lot 1, Block A of said Loves Addition, for a total distance of 710.41 feet to the **POINT OF BEGINNING** and containing 43.24 acres of land more or less.

NOTES:

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

This document was prepared under 22 TAC §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

19 TECHNOLOGY DISTRICT

DISTRICT DESCRIPTION

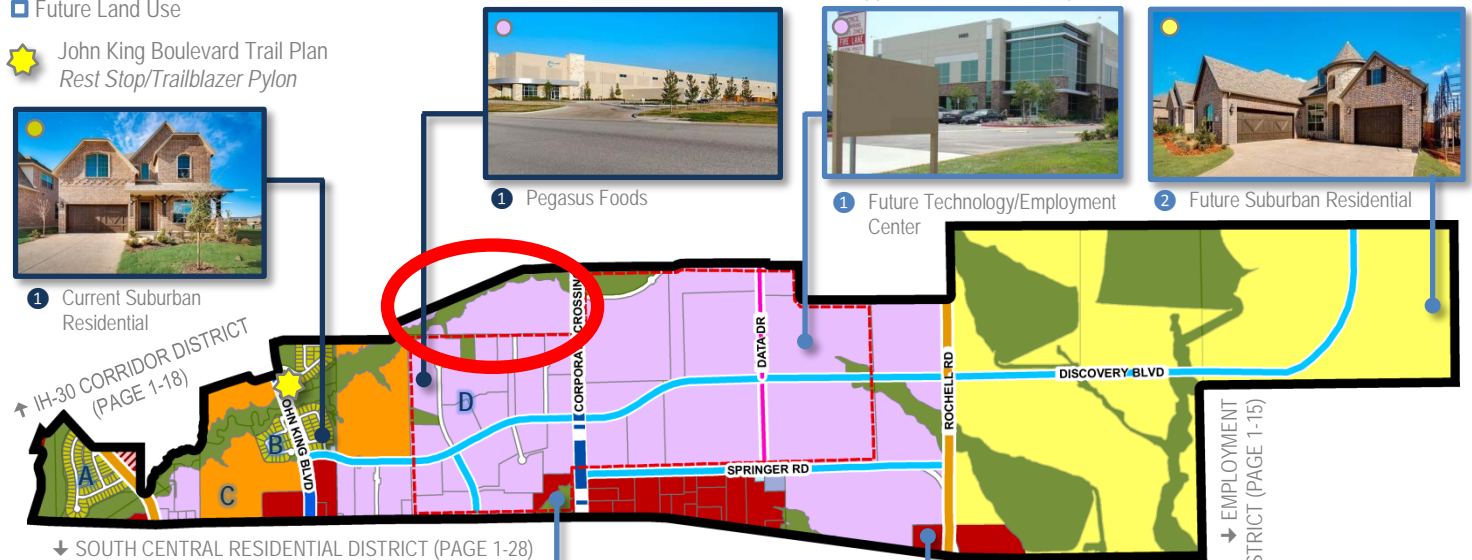
The *Technology District* is primarily characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base. This area benefits from easy access to IH-30 from John King Boulevard, Corporate Crossing, and SH-276 via SH-205. The district also contains a mixture of high to medium density residential land uses and several additional large vacant tracts of land that are entitled for low density residential land uses. The commercial areas adjacent to SH-276 contain a mixture of transitional uses and land uses targeted at supporting the existing and anticipated residential land uses. In the future, the *Technology District* is anticipated to continue to provide a mix of non-retail commercial and an assortment of housing options that will provide a balance with regard to the City's economic base and population.

POINTS OF REFERENCE

- A. Townsend Village Subdivision
- B. Rockwall Downes Subdivision
- C. Sixteen 50 @ Lake Ray Hubbard Apartment Complex
- D. Rockwall Economic Development Corporation's Technology Park

LAND USE PALETTES

- Current Land Use
- Future Land Use
- ★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon



Land Use Category	Percentage	Acres
COMMERCIAL	53.90%	
RESIDENTIAL	46.10%	
MIXED USE	0.00%	
COMMERCIAL/RETAIL (CR)		78.42-ACRES
HIGH DENSITY RESIDENTIAL (HDR)		74.61-ACRES
LOW DENSITY RESIDENTIAL (LDR)		425.14-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)		27.22-ACRES
PARKS AND OPEN SPACE (OS)		287.78-ACRES
PUBLIC (P)		1.95-ACRES
QUASI-PUBLIC (QP)		0.61-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)		6.76-ACRES
TECHNOLOGY/EMPLOYMENT CENTER (TEC)		530.85-ACRES

DISTRICT STRATEGIES

Considering the existing composition and future intent of the *Technology District*, the following are the strategies for this district:

1. **Technology/Employment Center.** Taking into consideration the City's desire to preserve the current residential to non-residential land use ratio, encroachment of incompatible land uses (e.g. residential, commercial, etc.) should be discouraged in areas designated for *Technology/Employment Center* land uses. This is especially important in the City's Technology Park, which is denoted in a red dashed line (---). These areas should be preserved for larger clean industrial businesses that can help to diversify the City's tax base. The areas adjacent to Rochelle Road should utilize large buffers, berms and landscaping to off-set adjacency to the residential areas on the east side of Rochelle Road.
2. **Suburban Residential.** The low density residential land uses on the east side of Rochelle Road should be large master planned communities that incorporate a mixture of lot types and housing products to create unique subdivisions of enduring value. These areas should be highly amenitized and utilize the existing floodplain/ponds for a robust trail and park system.
3. **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. In addition, these properties should use berms, landscaping and large buffers to transition to residential land uses. The existing transitional areas adjacent to SH-276 should be transition to neighborhood/convenience centers in the future.
4. **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'A'* of this Comprehensive Plan.



% OF ROCKWALL

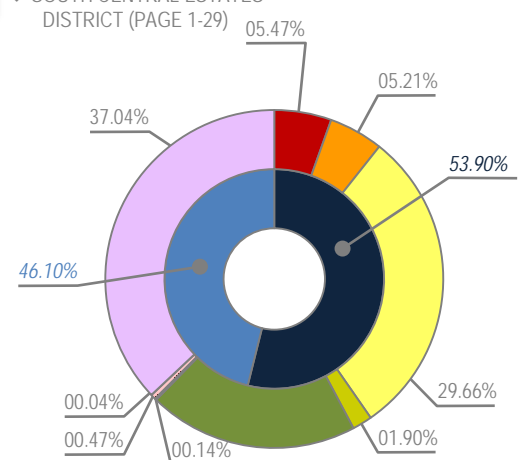
- 3.51%
- 3.52%
- 2.61%

CURRENT

- 701
- 64
- 1,556

BUILD OUT

- 2,376
- 6,414



LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

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X	Land Use Prohibited by Overlay District
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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 43.237-ACRE TRACT OF LAND IDENTIFIED AS TRACT 11 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 134, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dan Gallagher, PE of Kimley-Horn and Associates, Inc. for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 05.01, *General Industrial District Standards*; and Section 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the

future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A'
Legal Description

BEING a tract of land situated in the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a part of a called 44.5-acre tract described as the "Second Tract" in the Warranty Deed from H.M. Gray to F.D. Hitt, recorded in Volume 42, Page 569 of the Deed Records of Rockwall County, Texas, and conveyed to the Hitt Family Limited Partnership by deed recorded in Volume 1875, Page 238 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a point in the west right-of-way line of F.M. 549 (Corporate Crossing - a variable width right-of-way) and being the northwest corner of a called 0.373-acre tract of land described as a Right-of Way Dedication in the Warranty Deed to the City of Rockwall recorded in Instrument No. 2011-00451623, Official Public Records, Rockwall County, Texas;

THENCE with said west right-of-way line, the following courses and distances:

South 0°45'31" West, a distance of 54.87-feet;

South 0°42'48" East, a distance of 948.61-feet to the southwest corner of said 0.373-acre tract;

THENCE South 89°29'36" West, passing at a distance of 15.00-feet the northeast corner of Lot 2 Block E of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 377, Plat Records, Rockwall County, Texas; continuing with the common line of said 44.5-acre tract and the following tracts of land; said Lot 2, Block E, Lot 4, Block E; of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2020000008932, Plat Records, Rockwall County, Texas; the north terminus line of Technology Way (a 50-foot right-of-way), as shown on plat recorded under Cabinet D, Slide 175, Plat Records, Rockwall County, Texas; Lot 1, Block C, of Nolan Power Building, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 259, Plat Records, Rockwall County, Texas; Lots 2, 3R, and 4, Block C, of Rockwall Technology Park, an addition to the City of Rockwall, Texas; according to the plat thereof recorded in Cabinet E, Slide 329, Plat Records, Rockwall County, Texas; and a called 21.280-acre tract of land described in the Special Warranty Deed to SWBC Rockwall, LP, recorded in Instrument No. 2018000000613, Official Public Records, Rockwall County, for a total distance of 2689.40-feet to the southwest corner of said 44.5-acre tract of land;

THENCE North 3°00'29" West, a distance of 184.74-feet to the south line of Lot 1, Block 1, of Service King IH-30, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet J, Slide 109, Plat Records, Rockwall County, Texas;

THENCE North 67°13'27" East, with the common line of said 44.5-acre tract and the following tracts of land; Lot 1, Block 1 of said Service King IH-30 addition; Lot 1, Block 1, of Rockwall Kia, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 279, Plat Records, Rockwall County, Texas; a called 6.01-acre tract of land described in the Special Warranty Deed to Rockwall AA RE LLC, recorded in Instrument No. 20190000011194, Official Public Records, Rockwall County, Texas; a called 1.6291-acre tract of land described in the Warranty Deed with Vendor's Lien to Rockwall Storage Solutions, LLC, recorded in Instrument No. 20140000010313, Official Public Records, Rockwall County, Texas; Lot 2, DBK Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 241, Plat Records, Rockwall County, Texas; a called 1.86-acre tract of land described in the Warranty Deed to Myasin Investments, LLC, recorded in Instrument No. 20180000016565, Official Public Records, Rockwall County, Texas; Lot 1, Block 1, Cavender's Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No.

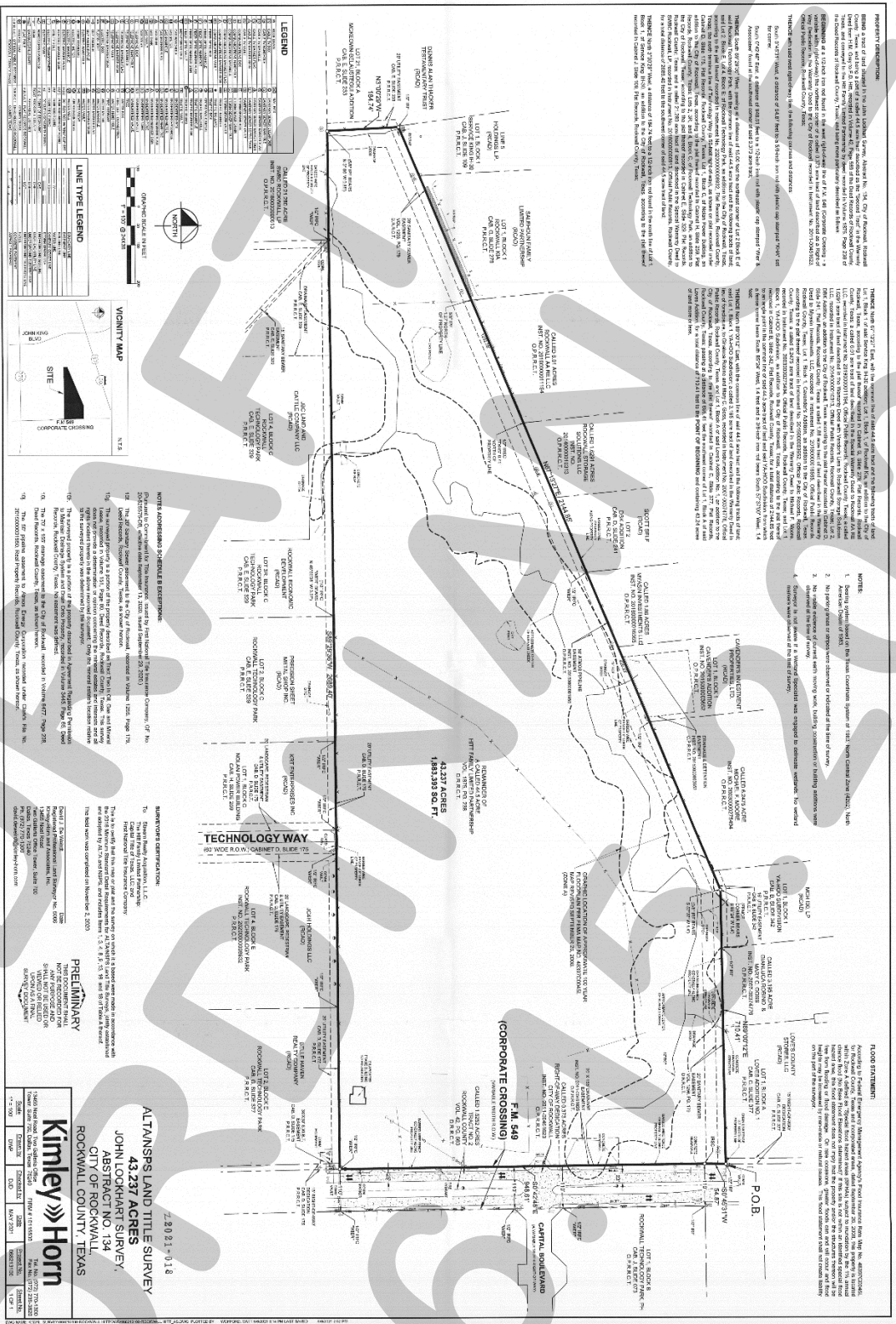
Exhibit 'A'
Legal Description

2015000003652, Official Public Records, Rockwall County, Texas; a called 6.2475-acre tract of land described in the Warranty Deed to Michael F. Moore, recorded in Instrument No. 20030000275494, Official Public Records, Rockwall County, Texas; and Lot 1, Block 1, YA-HOO Subdivision, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 342, Plat Records, Rockwall County, Texas; for a total distance of 2144.85-feet to an angle point in the common line of said 44.5-acre tract of land and said YA-HOO Subdivision;

THENCE North 89°00'12" East, with the common line of said 44.5-acre tract and the following tracts of land; said Lot 1, Block 1, YA-HOO Subdivision a called 3.195-acre tract of land described in the Warranty Deed in lieu of foreclosure, to Ginaluca Robino and Mary C. Goss, recorded in Instrument No. 2007-00374776, Official Public Records, Rockwall County , Texas, and Lot 1, Block A, of Love's Addition No. 1, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Slide 377, Plat Records, Rockwall County, Texas; passing at a distance of 695.41-feet the southeast corner of Lot 1, Block A of said Loves Addition, for a total distance of 710.41-feet to the **POINT OF BEGINNING** and containing 43.24-acres of land more or less.

Exhibit 'B'

Zoning Exhibit





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 15, 2021

SUBJECT: Z2021-019; 2019-2020 Annual Update to the *OURHometown Vision 2040 Comprehensive Plan*

On December 3, 2018 the City Council adopted the *OURHometown Vision 2040 Comprehensive Plan (Ordinance No. 18-48)*. The new Comprehensive Plan was designed to be a *living document* or a plan that could be updated to account for changes in the community as the community continues to experience growth over the next 20-years. In order to achieve this the City Council adopted *Resolution No. 19-23*, which established a standing Comprehensive Plan Advisory Committee (CPAC). This committee is intended to review the plan on an annual basis and provide recommendations to the City Council aimed at addressing changes to the goals and policy statements and land use plan necessary to ensure the plans continued relevance.

In 2019, the first annual update was initiated on February 28, 2020; however, due to COVID-19 the CPAC was unable to meet until June 3, 2020. At this meeting, staff proposed several changes and received feedback and direction from the CPAC. Unfortunately, a follow up meeting was delayed due to an increase in development cases, and staff choose to incorporate the 2019 changes into the 2020 update. On April 21, 2021, the CPAC again met with staff to discuss the proposed changes to the plan, and after reviewing the changes voted 7-0 [*with Board Member Michael Hunter being absent at the time of voting*] to recommend approval of the changes to the Planning and Zoning Commission and City Council. A memorandum provided to the CPAC outlining the proposed changes is in the attached packet for the Planning and Zoning Commission's review.

In response to the CPAC's recommendation, staff is bringing forward a draft ordinance that would make the recommended changes. In accordance with the City's Charter, the City Manager has reviewed the proposed changes and is in agreement with the CPAC's recommendation. The proposed schedule for this amendment is as follows:

~~Planning and Zoning Commission Work Session: May 25, 2021~~

Planning and Zoning Commission Public Hearing: June 15, 2021

City Council Public Hearing and First Reading: June 21, 2021

City Council Second Reading: July 6, 2021

In addition, staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff and a member of the CPAC will be available at the meeting on June 15, 2021.



CITY OF ROCKWALL

COMPREHENSIVE PLAN ADVISORY COMMITTEE (CPAC) MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Comprehensive Plan Advisory Committee (CPAC)
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: April 21, 2021
SUBJECT: 2019/2020 Annual Update of the OURHometown Vision 2040 Comprehensive Plan

On October 21, 2019, the City Council adopted a resolution (*i.e. Resolution No. 19-23*), which established a standing Comprehensive Plan Advisory Committee (CPAC). The City Council also directed staff to invite all members of the original CPAC back to fill the seven (7) vacancies for the new committee. This updated CPAC committee will be responsible for reviewing all changes at the annual review and providing direction for staff moving forward. A copy of the approved resolution has been included in the attached packet for the CPAC's review.

UPDATE (March 16, 2020): On March 16, 2020, the City Council adopted *Resolution No. 20-02*, which changed the wording of *Resolution No. 19-23* to state that the "...Comprehensive Plan Advisory Committee (CPAC) shall consist of a minimum of seven (7) members ...". At the same meeting the City Council added Michael Hunter. Mr. Hunter is a Rockwall resident and the Executive Director of the North Texas Community Development Corporation.

UPDATE (April 21, 2021): At the last Comprehensive Plan Advisory Committee (CPAC) meeting on June 3, 2020, the CPAC discussed the proposed updates and asked staff to [1] review the requirements for SCS Ponds in the City (*i.e. stormwater carrying capacity goals*), [2] review the possibility of decommissioning the Squabble Creek and Buffalo Creek Wastewater Treatment Plants, and [3] looking into a plan for the SH-205 corridor. With regard to these items, staff has asked the Amy Williams, City Engineer/Director of Public Works to come speak to the CPAC to help address the CPAC's questions. Staff has also prepared updates concerning the changes approved by the City Council regarding Future Land Use designations and boundary changes that have been approved since the adoption the plan. Recently, two (2) members of the CPAC have resigned and the City Council has appointed Jim Turner -- a *Rockwall resident* -- to the Committee.

ACTION NEEDED AT THE APRIL 21, 2021: Staff is requesting the CPAC review the proposed changes to the Comprehensive Plan, outlined below and contained in the attached packet, and provide a recommendation to the Planning and Zoning Commission and City Council.

2019-2020 ACHIEVEMENTS CONCERNING IMPLEMENTATION STRATEGIES

Over the last year, staff has been able to achieve all of the 2019 implementation strategies and a number of the implementation strategies for subsequent years. Below is a list of all of staff's achievements for this review period:

2019: Completed Strategies

- (1) Action Plan. Create an online version of the plan that can be used to track staff's progress, update the community of any changes to the plan through the review process, and allow for continued community interaction.

Action: Planning and Zoning Department staff have created an online version of the Comprehensive Plan that shows staff's progress with regard to the implementation of the strategies identified in the plan. In addition, a full *PDF* version of the plan has been made available through the City's website.

Resources:

- (a) <https://sites.google.com/site/rockwallplanning/comprehensive-planning/ourhometown-vision-2040-comprehensive-plan>
- (b) <http://www.rockwall.com/pz/Planning/Documents/Comprehensive%20Plan.pdf>

- (2) Regulations. Review the City's residential and commercial screening requirements contained in the Unified Development Code to ensure conformance to the policies contained within this Comprehensive Plan.

Action: On September 3, 2019 the City Council approved *Ordinance No. 19-32*, which was drafted to address actions taken by the Legislature as part of the 86th Legislative Session. This ordinance contained information attempting to address changes made to

the City's ability to regulate buildings materials (*i.e.* HB2439) and changes made to the City's development process (*i.e.* HB3167). As part of this amendment, staff imposed changes to Article 08, *Landscape and Fencing Standards*, of the Unified Development Code that mirrored the changes indicated in the Comprehensive Plan regarding fencing and screening. Specifically, staff incorporated increased screening standards allowing the Planning and Zoning Commission the ability to increase landscape buffers, and require three (3) tiered screening with a wrought iron fences in lieu of a masonry wall. These changes addressed the goals and policies contained in Chapter 01, *Land Use and Growth Management*, and Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan.

Resources:

(a) [http://www.rockwall.com/pz/Planning/Documents/Unified%20Development%20Code%20\(UDC\).pdf](http://www.rockwall.com/pz/Planning/Documents/Unified%20Development%20Code%20(UDC).pdf) [Section 05; Article 08]

- (3) Policies & Actions. Incorporate a representative from the Police Department in the development review process to ensure that development is being planned in accordance with Crime Prevention through Environmental Design (CPTED) guidelines.

Action: Shortly after the adoption of the Comprehensive Plan, Captain Ed Fowler of the Rockwall Police Department started to attend pre-application meetings to convey CPTED guidelines to applicants looking to develop in the City of Rockwall. In addition, the Police Department has been added to the development review process, and has been making comments concerning CPTED and safety guidelines as a part of the review of development submittals. Staff has found that this free, new program has been welcomed by the development community, and Captain Fowler has met many willing developers on-site to evaluate their proposed developments with regard to CPTED guidelines. Per Captain Fowler, the biggest achievement of this new program has been the expanded knowledge conveyed to the development community concerning construction site safety and the prevention of construction site theft.

- (4) Capital & Finance. Review and revise the Water and Wastewater Master Plans and the Impact Fee Study every five (5) years to account for changes to the Future Land Use Map and population projections.

Action: On November 4, 2019, the City Council adopted updated impact fees for roadway, water, and wastewater facilities. In addition, the Water and Wastewater Master Plans were adopted by the City Council on December 2, 2019.

- (5) Capital & Finance. Incorporate an infrastructure section into staff's development case memorandums to account for potential impacts/needs for zoning changes that propose more intense land uses.

Action: After the adoption of the Comprehensive Plan, Planning and Zoning Department staff incorporated an infrastructure section into their zoning case memos. This section conveys to the City Council the anticipated infrastructure necessary to serve a proposed development. In addition, the City of Rockwall is now requiring an infrastructure study be performed on all properties tied to zoning requests that propose a zoning classification that is more intense than what is depicted on the Future Land Use Map contained in the Comprehensive Plan.

2021: Completed Strategies

- (1) Guidelines. Create a long-term plan for the IH-30 Corridor that provides recommendations and implementation strategies targeted at protecting, supporting and adapting land uses situated within the corridor. This plan can be incorporated in Appendix 'B', *Corridor Plans*, of this Comprehensive Plan during the annual update.

Action: On March 18, 2019, the City Council reviewed the IH-30 Commercial Corridor Planning Study and identified the elements of the Planning Framework and Implementation Strategies that needed to be incorporated into the Comprehensive Plan. Based on the City Council's findings staff has integrated these items into Appendix 'B', *Corridor Plans*, and revised the *IH-30 Corridor District's* District Strategies.

Resources:

(a) <http://www.rockwall.com/pz/Planning/Documents/IH-30%20Corridor%20Planning%20Study.pdf>

2023: Completed Strategies

- (1) Policies & Actions. Develop a model that can be used to analyze future zoning and land use decisions that are associated with new development. This model should create a rational link between the Future Land Use designation of a property and the resulting impact of a proposed development, and further assist elected and appointed officials in making informed decisions that will benefit the community.

Action: Planning and Zoning Department staff have created a model that estimates the potential costs or fiscal impacts of a proposed zoning change compared to the existing and anticipated costs associated with a property's current zoning. This model is currently

being utilized on all development submittals for zoning changes, and the output sheet from the model is being incorporated into the Planning and Zoning Commission's and City Council's development packets.

2024: Completed Strategies

- (1) Policies & Actions. Utilize Fiscal Impact Analysis (FIA) to create a fiscal impact model for the purpose of relating cost of service, assessed value and taxable value to potential changes in land uses for the purpose of assisting elected and appointed officials in making informed decisions that will benefit the community.

Action: As stated above, Planning and Zoning Department staff have created a model that estimates the potential costs or fiscal impacts of a proposed zoning change compared to the existing and anticipated costs associated with a property's current zoning. This model uses cost of service, assessed value and taxable value to forecast the potential changes of a zoning change.

2019/2020 PROPOSED CHANGES TO THE OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The following are the changes that are recommended by staff based on the changes in the City's development patterns and cases approved by the City Council over the last year.

Future Land Use Changes

- (1) Zoning Changes. Since the implementation of the OURHometown Vision 2040 Comprehensive Plan the City has had three (3) zoning changes that require changes to the Future Land Use Map. These changes are as follows:

- (A) Z2018-032. This zoning change involved the property at 1100 & 1300 E. Washington Street adjacent to the Park Place Subdivision. The zoning change involved changing the zoning from a Light Industrial (LI) District to a Planned Development District for commercial, light industrial, and townhome land uses (see the *Concept Plan below*). The property is located within the *Central District*, and the approved zoning change changed the Future Land Use Map from a *Commercial/Industrial* designation to a *High Density Residential, Commercial/Retail, and Technology/Employment Center* designation. This zoning change was adopted prior to the adoption of the Comprehensive Plan, but was not incorporated into the document because it was already in the process of being reviewed for approval.

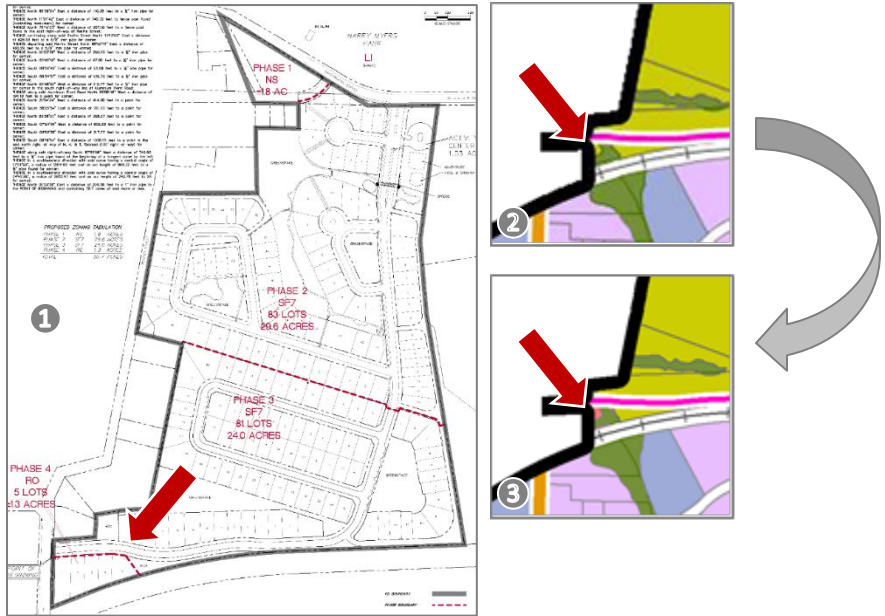
Figure 1: Zoning Exhibits for Z2018-032



1: Zoning Concept Plan; 2: Future Land Use Map prior to Z2018-032; 3: Future Land Use Map with changes adopted with Z2018-032.

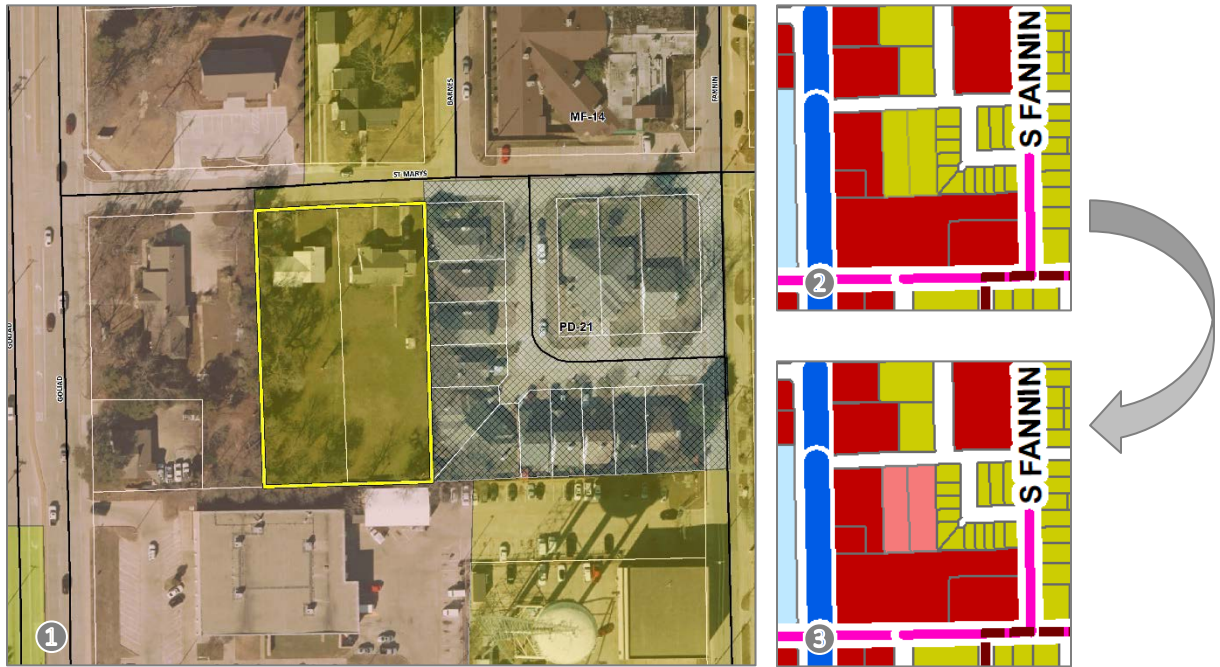
- (B) Z2018-057. This zoning change involved a portion of the Park Place Subdivision adjacent to Townsend Drive. The zoning change involved amending Planned Development District 59 (PD-59) to incorporate a 0.786-acre tract of land zoned Heavy Commercial (HC) District into the concept plan and re-designated it Residential-Office (RO) District -- which was allowed in Area 3 under the existing plan -- to only this area. Area 3 was then re-designated to Single-Family 7 (SF-7) District land uses (see the *Concept Plan below*). The property is located within the *Central District*, and the approved zoning change changed the Future Land Use Map from a *Medium Density Residential* designation to a *Live/Work* designation.

Figure 2: Zoning Exhibits for Z2018-057



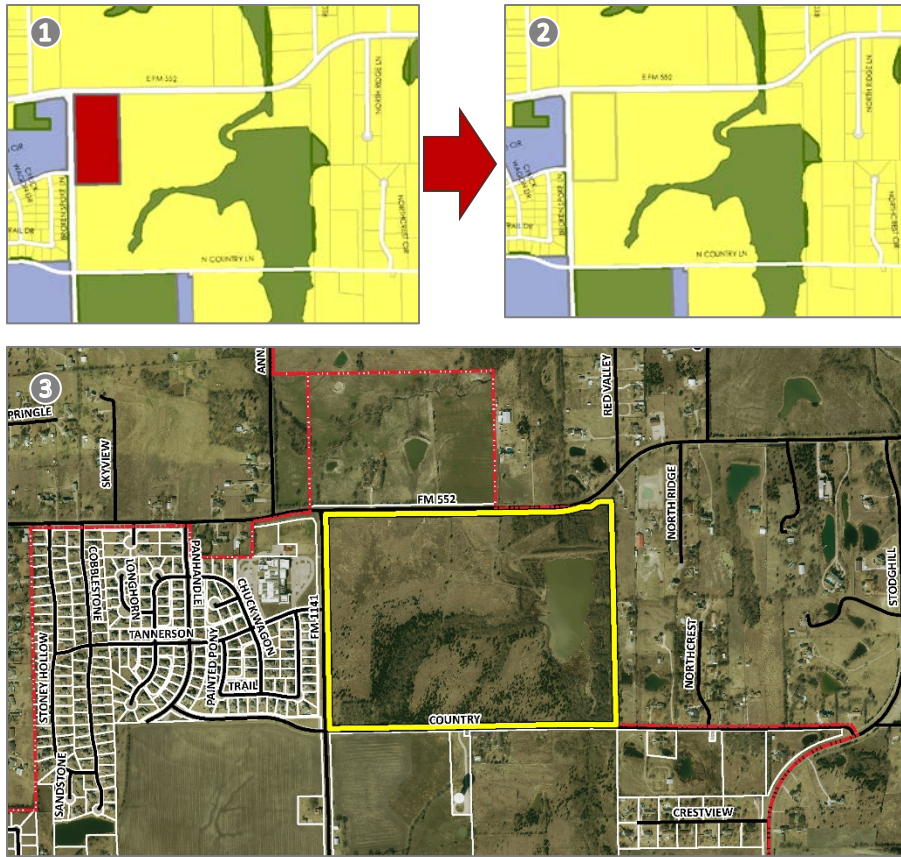
①: Zoning Concept Plan; ②: Future Land Use Map prior to Z2018-057; ③: Future Land Use Map with changes adopted with Z2018-057; RED ARROW: Area Affected by Z2018-057.

(C) Z2018-006 & Z2018-007. This zoning change involved rezoning two (2) residential properties (i.e. 106 & 108 St. Mary's Street) from a Single Family 7 (SF-7) District to a Residential-Office (RO) District. These properties are located within the *Downtown*



①: Location Map with Zoning Prior to the Zoning Change; ②: Future Land Use Map prior to Z2018-006 & Z2018-007; ③: Future Land Use Map with changes adopted with Z2018-006 & Z2018-007.

(D) Z2020-056. This zoning change involved rezoning a 121.16-acre tract of land from Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District to allow a 260-lot residential subdivision. The zoning change also necessitated a change to the Future Land Use Map, re-designating a 16.36-acre portion of the property from *Commercial Retail* to *Low Density Residential*.

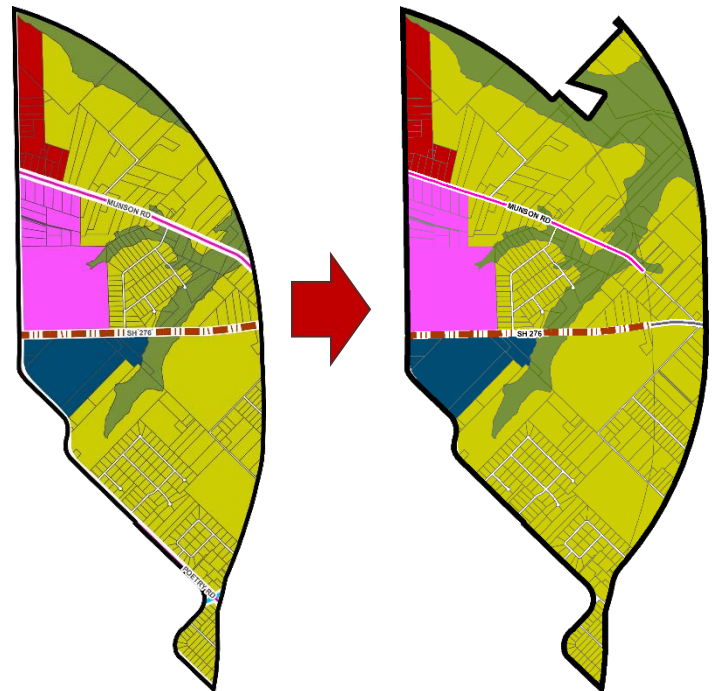
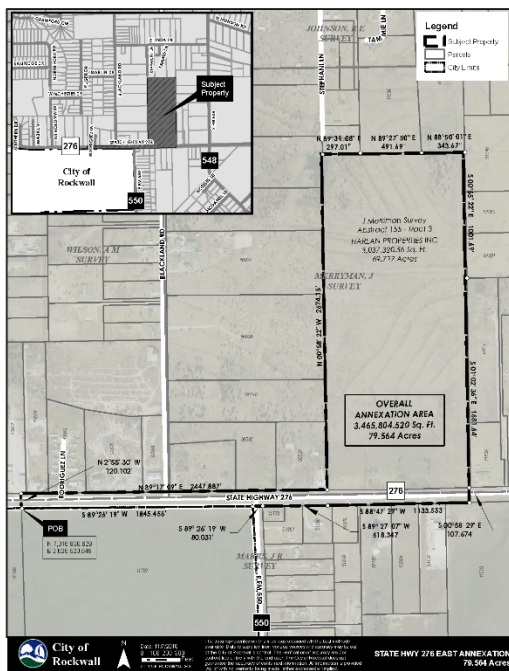


1: Future Land Use Map Prior to the Zoning Change; 2: Future Land Use Map after Z2020-056; 3: Location Map

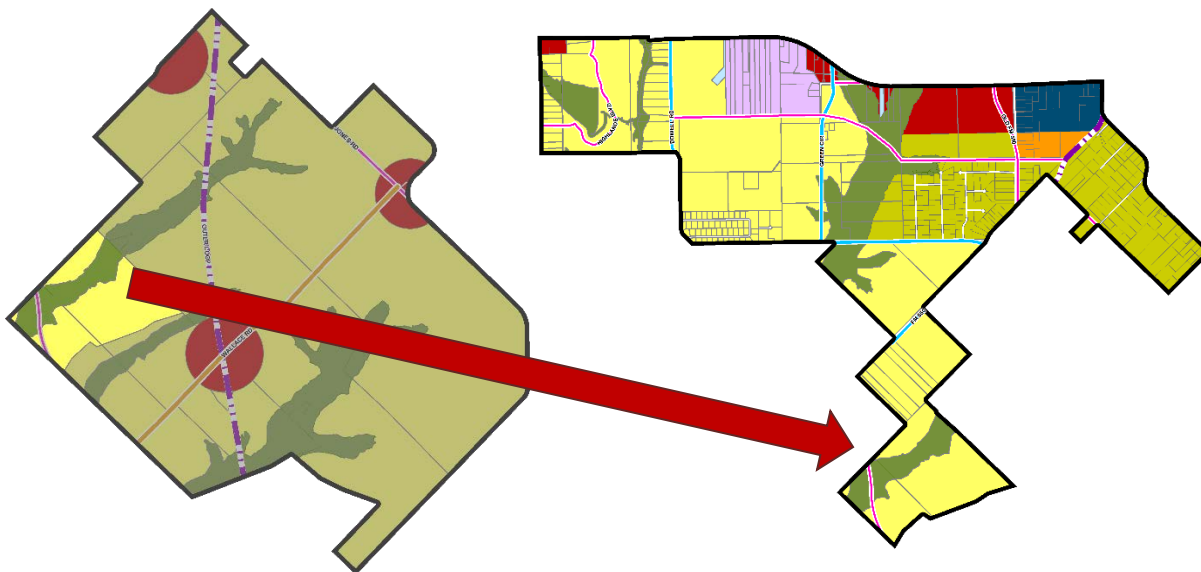
(2) Annexation Changes. Since the implementation of the OURHometown Vision 2040 Comprehensive Plan the City has had one (1) annexation that has affected changes to the Future Land Use Map. This change is as follows:

(A) A2018-005. This annexation case involved annexing a 79.564-acre tract of land on the north side of SH-276. The annexation of this property increased the City's Extraterritorial Jurisdiction (ETJ) to the east (see exhibit below).

Figure 3: Annexation Exhibits and Changes



- (3) Extraterritorial Jurisdiction (ETJ) Changes. Since the implementation of the OURHometown Vision 2040 Comprehensive Plan the City has had one (1) change to the Extraterritorial Jurisdiction (ETJ) that affects changes to the Future Land Use Map. This change involved removing 3,775.8-acres of the 4,088.09-acres that the City Council brought into the ETJ on July 10, 2017. This effectively removes the Southeast Estates District from the Future Land Use Plan. The remaining acreage of 312.29-acres was added to the South Central Estates District, and increased the acreage of this district from 2,825.49-acres to 3,137.78-acres. This change is depicted below:



Land Use District Strategy Changes

- (1) Overview Map. The overview map was updated to show the new corporate boundaries of the City and the resulting expanded Extraterritorial Jurisdiction (ETJ).
- (2) Central District. The *Central District* land use district was amended to reflect the zoning change referenced in Section (1)(A) of the Future Land Use section of this memorandum.
- (3) Downtown District. The *Downtown District* land use district was amended to reflect the zoning change referenced in Section (1)(B) of the Future Land Use section of this memorandum.
- (4) Harbor District. The *District Strategies* contained within the *Harbor District* were amended to incorporate a new strategy that addressed the incorporation of *Pocket Parks/Pedestrian Features and Trails*. This new strategy outlines the plan to incorporate various public and private pocket parks, greenspaces, trails, and pedestrian features that can create unique spaces within the district. The strategy also highlights how these spaces should create a logical transition to the Harbor Fountain and Park adjacent to the waterfront. Some of the examples that have recently been included in approved site plans and projects are: [1] the pedestrian mall adjacent to Summer Lee Drive included with the TRU Hilton Hotel project, [2] the play cubes and private park/greenspace that was included adjacent to Harbor Heights Drive, [3] the entry signage and public park incorporated with the Ridge Road Retail Center along Glen Hill Way at the entry to the Harbor adjacent to Ridge Road, and [4] the pedestrian mall leading down to the Harbor Fountain that was incorporated into the Harbor Village Condominiums adjacent to Lakefront Trail. Building off the entry signage off of Ridge Road that was established by the City Council as part of the Ridge Road Retail tree mitigation settlement agreement, staff has identified additional potential locations where entry signage could be incorporated into the Harbor District.
- (5) IH-30 Corridor District. The *IH-30 Corridor District* was taken out of *Reserve* and the recommendations from the *IH-30 Corridor Planning Study* were incorporated into this section. This consisted of adding *District Strategies* that included [1] Corridor Strategies, [2] Regional Center, [3] Open Space, and [4] John King Boulevard. Staff also incorporated a *Corridor Zones Map* that outlines the intent of each of the corridor zones and identifies the strategic properties recognized in the *IH-30 Corridor Planning Study*.
- (6) Innovation District. The inset map and land use acreages and percentages were updated to reflect the annexation referenced in Section (2)(A) of the Future Land Use section of this memorandum.

- (7) Land Use Plan Summary. The *Summary of Land Use Plan in Acres by District, Land Use Designation and Land Use* chart was updated with the new acreages for the *Innovation District* resulting from the annexation referenced in Section (2)(A) of the Future Land Use section of this memorandum. Based on this change, the percentages at the bottom of the chart were also updated.

Changes to the Chapters

- (1) Chapter 01, Land Use and Growth Management. The *Technology/Employment Centers (TEC)* and *Business Centers (BC)* Land Use Plan Designations were changed to remove the Research/Technology (RT) District from the *Zoning Districts* section. The purpose of this change is the Research/Technology (RT) District was removed as a zoning district from the Unified Development Code (UDC).

Master Thoroughfare Plan Changes

- (1) Principal Arterial, Three (3) Lane, Undivided Roadway (P3U). On the Master Thoroughfare Plan there is a designation for a P3U (*principal arterial, three [3] lane, undivided roadway*) that is located on the north/south and east/west couplets through the downtown; however, there was no corresponding street cross section for this roadway. To correct this staff has created a cross section that can be incorporated with the other street cross sections in Chapter 04, *Infrastructure*.

Appendix Changes

- (1) IH-30 Corridor Planning Study. The Planning Framework, Corridor Strategies, and Implementation Plan approved by the City Council has been integrated into Appendix 'B', *Corridor Plans*, of the Comprehensive Plan. These sections provide additional complementary information contained in the *IH-30 Corridor District* Land Use District pages in Chapter 01, *Land Use and Growth Management*.
- (2) Map Updates. The maps contained in Appendix 'C', *Maps*, of the Comprehensive Plan need to be updated to show the adopted changes to the City's Extraterritorial Jurisdiction (ETJ). In addition, the Future Land Use Map needs to be amended to show the changes detailed above in the *Future Land Use Changes* section of this case memo.

Implementation Schedule Changes

- (1) Regulations Implementation Schedule; IS#1. Due to the approval of SB2/HB347 in the 86TH Legislative Session, the City of Rockwall no longer has the ability to unilaterally annex property located within the City's Extraterritorial Jurisdiction (ETJ). This change alleviates the need for an annexation plan; however, staff and management are rethinking how this affects the City's strategies with regard to growth management. It is anticipated that this *Implementation Strategy* will be updated as part of the 2022 update.
- (2) Date Changes to the Implementation Plan Schedules. Attached to this memorandum is an updated *Implementation Schedule*. The changes are being proposed to allow staff more time to bring forward the proposed deliverables. The reasons for the delay are tied to the events that have transpired over the past 18-months and an increase in the number of development cases being processed by the Planning and Zoning Department.
 - (a) Regulations Implementation Schedule
 - (1) *IS#2; Review of Parking Standards*: From 2020 to 2022.
 - (2) *IS#8; Review of the Mandatory Parkland Dedication Ordinance*: From 2021 to 2022.
 - (3) *IS#17; Review of the Residential Adjacency Standards*: From 2020 to 2022.
 - (b) Guidelines Implementation Schedule
 - (1) *IS#8; Visual Preference Survey*: From 2020 to 2023.
 - (c) Capital & Financial Implementation Schedule
 - (1) *IS#7; Vacant Property Infrastructure Study*: From 2021 to 2023.

● COMMERCIAL/RETAIL (CR)

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 Secondary Land Uses: Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● COMMERCIAL/INDUSTRIAL (CI)

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 Secondary Land Uses: Warehouse and Outside Storage
- 3 Zoning Districts: Heavy Commercial (HC) District and Heavy Industrial (HI) District

EXISTING LAND USE EXAMPLES

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● BUSINESS CENTERS (BC)

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (*e.g. restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 Secondary Land Uses: Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 Zoning Districts: Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Trend Tower

● TECHNOLOGY/EMPLOYMENT CENTERS (TEC)

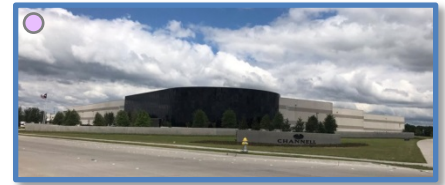
The *Technology/Employment Centers* land use category is characterized by employment-oriented businesses, which are generally situated in larger centers (e.g. *Rockwall Technology Park*) with access to key transportation networks. These uses should utilize large setbacks, campus style green spaces and large berms/buffers to shrink the scale of the buildings and provide park-like amenities that are complementary to the City's other land use districts. Generally, these areas should not be directly adjacent to Low or Medium Density Residential land use designations and should be buffered from low-density single-family subdivisions utilizing transitional land uses.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Clean Manufacturing Centers, Technology/Data Centers, Research and Design/Development Businesses, General Office Land Uses, Flexible Space (i.e. Office/Warehouse Combinations Land Uses), and Light Assembly Businesses
- 2 Secondary Land Uses: Parks, Open Space, Civic/Institutional and Certain Complementary Commercial Land Uses (e.g. Office/Showroom)
- 3 Zoning Districts: Light Industrial (LI) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Rockwall Technology Park
- 2 Channell Commercial Corporation



SPECIAL DISTRICTS ● ● ● ●

● LIVE/WORK (LW)

The *Live/Work* land use designation is characterized by the reuse of single-family properties as low-intensity office or retail land uses. These areas are considered to be transitional and require added flexibility for the purpose of maintaining a specific small town aesthetic along major roadways. These areas are used to buffer residential areas from major roadways or more intense commercial land uses. This designation also allows live/work arrangements where a single-family structure may continue to serve as residence, while also supporting a low-intensity office or retail store.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Professional Offices, Boutiques, Art/Music Studios, and Antique and Collectable Shops.
- 2 Secondary Land Uses: Banquet Facilities, Small Restaurants, Veterinarian Clinics for Small Animals, and Open Space
- 3 Zoning Districts: Residential-Office (RO) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 N. Goliad Street Between East Fork Road and the Downtown
- 2 West Side of Ridge Road after the SH-205/Ridge Road Split
- 3 N. Goliad Street Across from the YMCA



● MIXED-USE (MU)

The *Mixed-Use* land use designation is characterized by mixed-use developments that typically offer a mix of housing types and residential densities with integrated retail, personal services and/or office. These areas can be both vertically and horizontally integrated with a mix of land uses, and are generally designed as walkable/pedestrian friendly developments. The residential component can include single-family homes, townhouses, condominiums, urban housing, lofts, or multi-family. Vertically integrated mixed-use developments typically incorporate structured parking at the center of the block, recreational and pedestrian amenities and have ground floor commercial/retail, office or personal services.

DESIGNATION CHARACTERISTICS

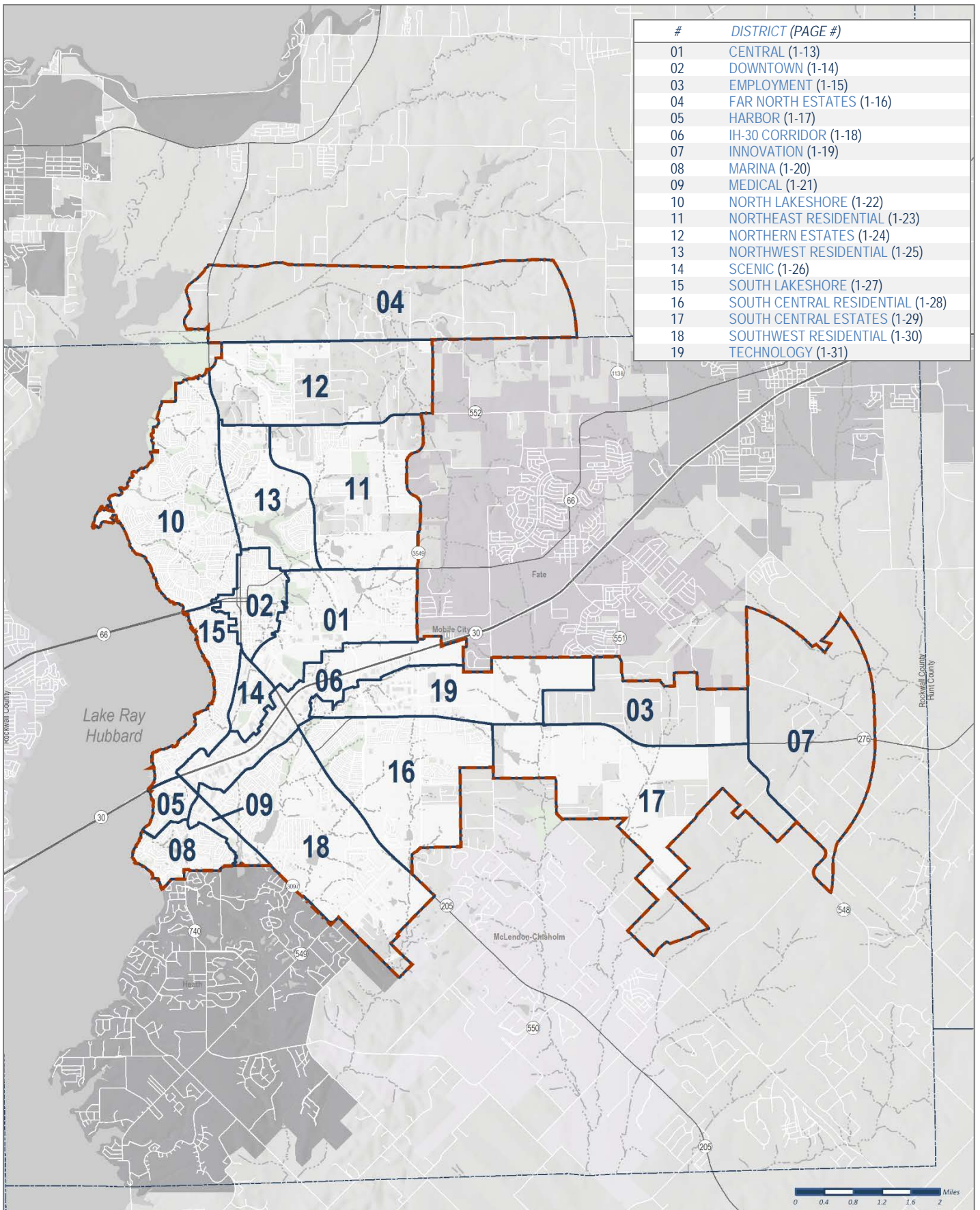
- 1 Primary Land Uses: Retail, Office, Restaurant and Residential Land Uses
- 2 Secondary Land Uses: Parks, Open Space, Trails, and Institutional/Civic Land Uses
- 3 Zoning Districts: Downtown (DT) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Rockwall Commons
- 2 Harbor District

● DOWNTOWN (DT)

00 OVERVIEW MAP



01 CENTRAL DISTRICT

DISTRICT STRATEGIES

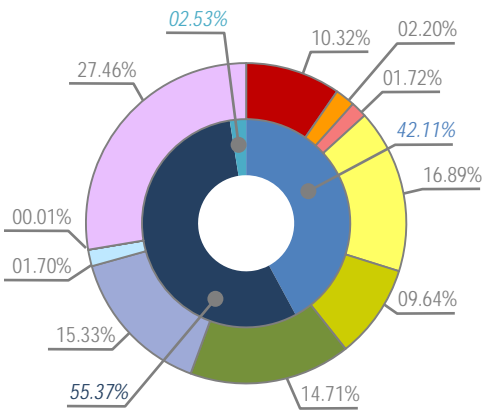
DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

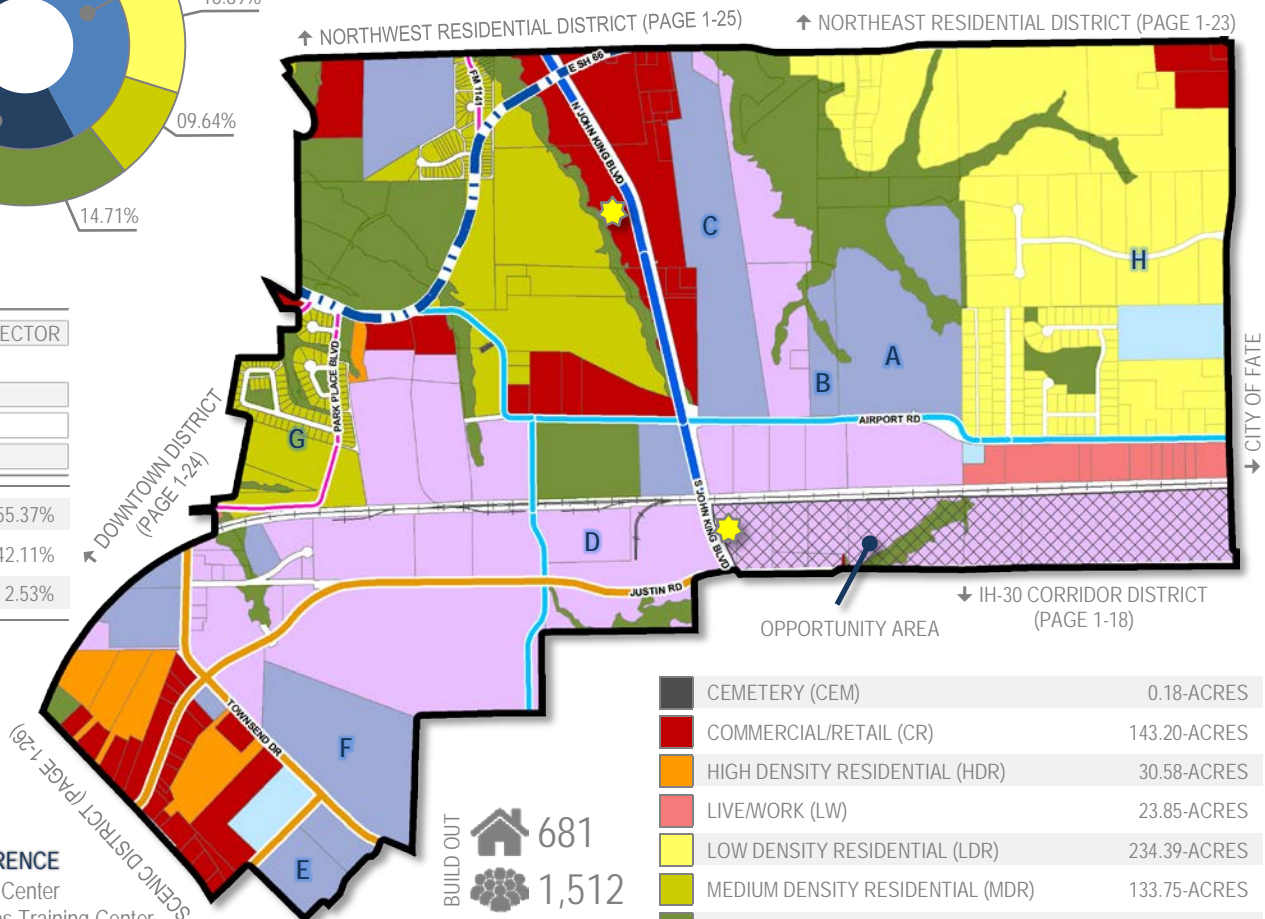
 John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon

The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



Color	Category	Percentage
Black	COMMERCIAL	55.37%
Blue	RESIDENTIAL	42.11%
Light Blue	MIXED USE	2.53%
Light Green	MINOR COLLECTOR	
Light Blue	M4U	
Light Green	M4D	
Light Blue	P6D	
Light Green	TXDOT 4D	



POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

BUILD OUT

- House icon: 681
- Flower icon: 1,512

% OF ROCKWALL

- House icon: 1.10%
- Flower icon: 3.91%
- Flower icon: 0.82%

CURRENT

- House icon: 220
- Flower icon: 71
- Flower icon: 488

Black	CEMETERY (CEM)	0.18-ACRES
Red	COMMERCIAL/RETAIL (CR)	143.20-ACRES
Orange	HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
Light Red	LIVE/WORK (LW)	23.85-ACRES
Yellow	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
Light Green	MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
Dark Green	PARKS AND OPEN SPACE (OS)	204.05-ACRES
Light Blue	PUBLIC (P)	212.77-ACRES
Light Blue	QUASI-PUBLIC (QP)	23.65-ACRES
Light Green	SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
Light Purple	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

02 DOWNTOWN DISTRICT

DISTRICT DESCRIPTION

The *Downtown District* is the cultural heart of the community and embodies the small town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. This district also includes the City's Old Town Rockwall (OTR) Historic District, which is composed of housing that dates back to the late 1800's. The *North Goliad Corridor* -- also identified by its zoning classification (i.e. PD-50) -- is a unique *Live/Work* corridor that supports a range of small boutiques (with a SUP) and offices, and represents a successful adaptive reuse effort by the City. In the future, the City will need to balance the attractiveness of redevelopment in the Downtown area with the small town atmosphere that makes Rockwall unique to its residents.

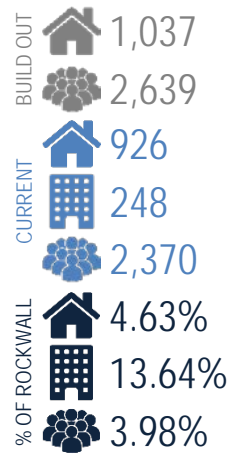
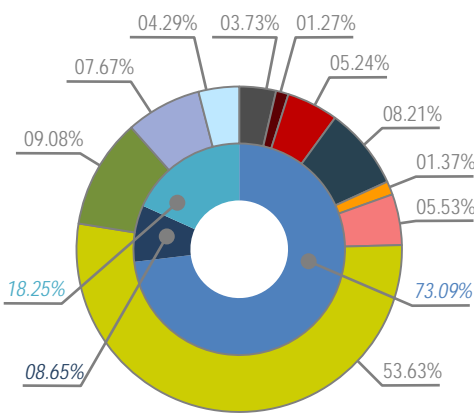
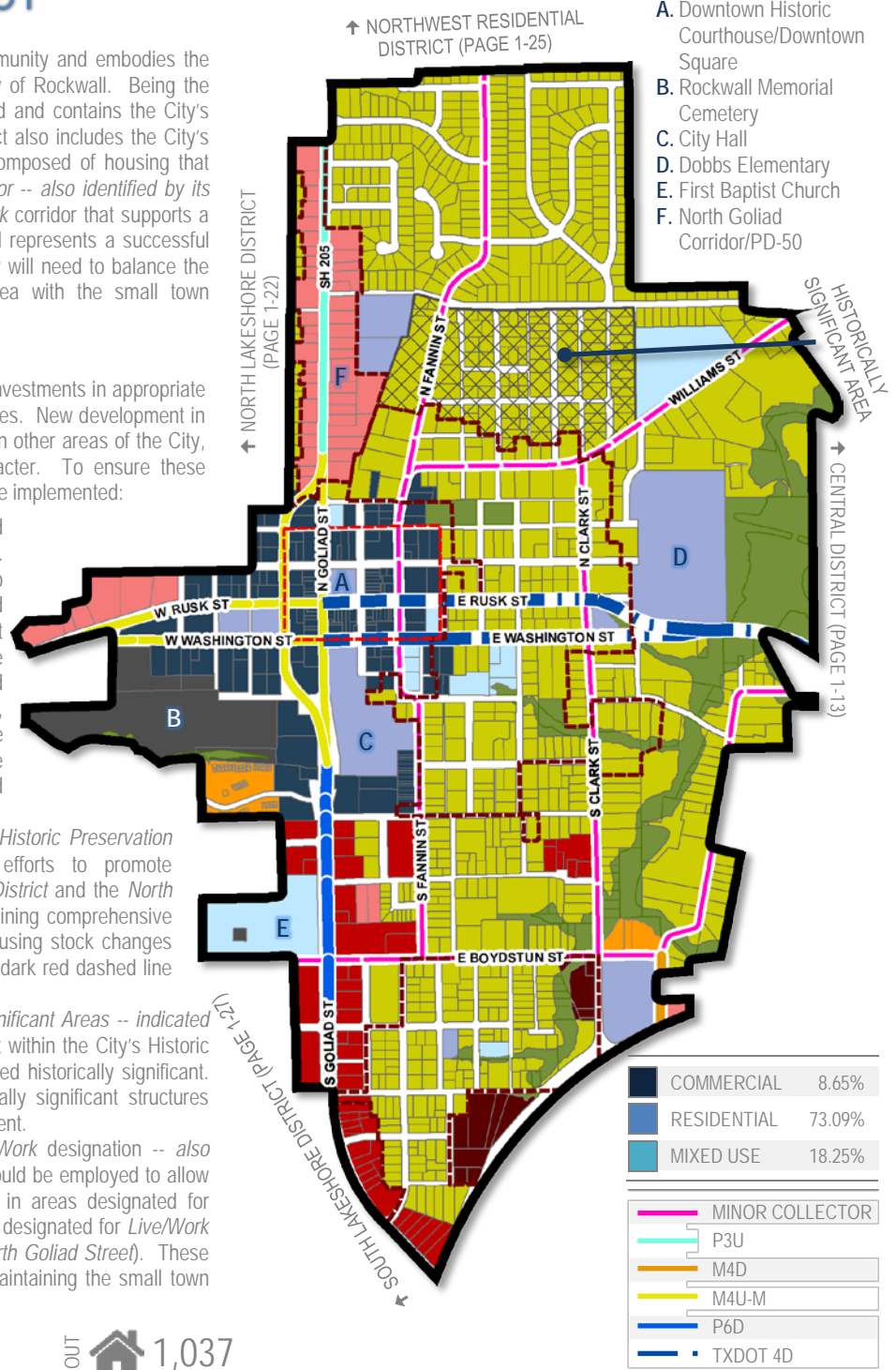
DISTRICT STRATEGIES

The *Downtown District* will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small-town character. To ensure these objectives are achieved, the following strategies should be implemented:

- 1 Downtown Square.** The *Downtown Square* should be preserved as a historical mixed-use area. Adaptive reuse strategies should be employed to protect and preserve the historic architecture and significance in the district, and redevelopment should be discouraged. In cases where redevelopment is appropriate, architecture and design standards that take into account the form, function and time-period of the existing of the downtown square should be implemented. The downtown square is indicated by the red dashed line (---).
- 2 Historic District and North Goliad Corridor.** The *Historic Preservation Advisory Board (HPAB)* should continue its efforts to promote preservation and appropriate infill in the *Historic District* and the *North Goliad Corridor* (i.e. PD-50). This includes maintaining comprehensive and accurate records of how this area and its housing stock changes over time. The Historic District is indicated by the dark red dashed line on the district map (---).
- 3 Historically Significant Areas.** The *Historically Significant Areas* -- indicated in the crosshatched area --- are areas that are not within the City's Historic District, but contain housing stock that is considered historically significant. This area should look to preserve these historically significant structures while continuing to allow appropriate infill development.
- 4 Live/Work.** The flexibility provided by the *Live/Work* designation -- also allowed in the *Downtown (DT)* zoning district -- should be employed to allow for adaptive reuse of the existing housing stock in areas designated for *Downtown (DT)* District land uses and in the areas designated for *Live/Work* land uses (i.e. adjacent to *W. Rusk Street* and *North Goliad Street*). These districts are important to allowing change while maintaining the small town atmosphere of the Downtown area.

POINTS OF REFERENCE

- A. Downtown Historic Courthouse/Downtown Square
- B. Rockwall Memorial Cemetery
- C. City Hall
- D. Dobbs Elementary
- E. First Baptist Church
- F. North Goliad Corridor/PD-50



CEMETERY (CEM)	17.11-ACRES
COMMERCIAL/INDUSTRIAL (CI)	5.82-ACRES
COMMERCIAL/RETAIL (CR)	24.06-ACRES
DOWNTOWN (DT)	37.67-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	6.27-ACRES
LIVE/WORK (LW)	25.38-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	246.20-ACRES
PARKS AND OPEN SPACE (OS)	41.69-ACRES
PUBLIC (P)	35.21-ACRES
QUASI-PUBLIC (QP)	19.70-ACRES

05 HARBOR DISTRICT

DISTRICT DESCRIPTION

Being an entry portal into the City of Rockwall, the *Harbor District* is intended to provide a pedestrian oriented, mixed-use district that accommodates residential, non-residential, and public spaces. This district is characterized by the live, work and play environment that will be provided through professional offices, scenic condominiums, and an abundance of shopping, restaurants, entertainment, and recreational opportunities. The Harbor District is intended to act as a regional commercial center that offers a unique alternative to the small town, local shopping options provided in the City's *Downtown Square*.

POINTS OF REFERENCE

- A. Harbor Fountain
- B. Hilton Hotel & Resort
- C. Trend Tower
- D. Lago Vista Subdivision
- E. Signal Ridge Condominiums

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ Entry Portals/Monumentation for the Harbor District

● Pocket Parks and Pedestrian Features



1 Trend Tower Office Building

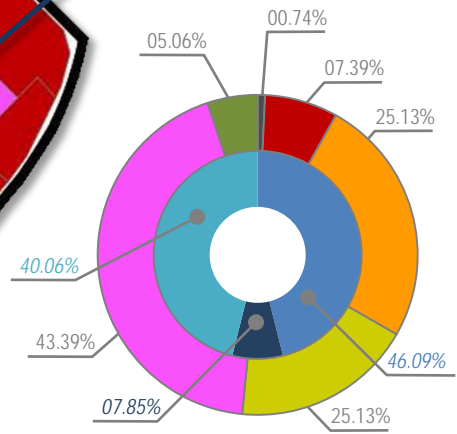
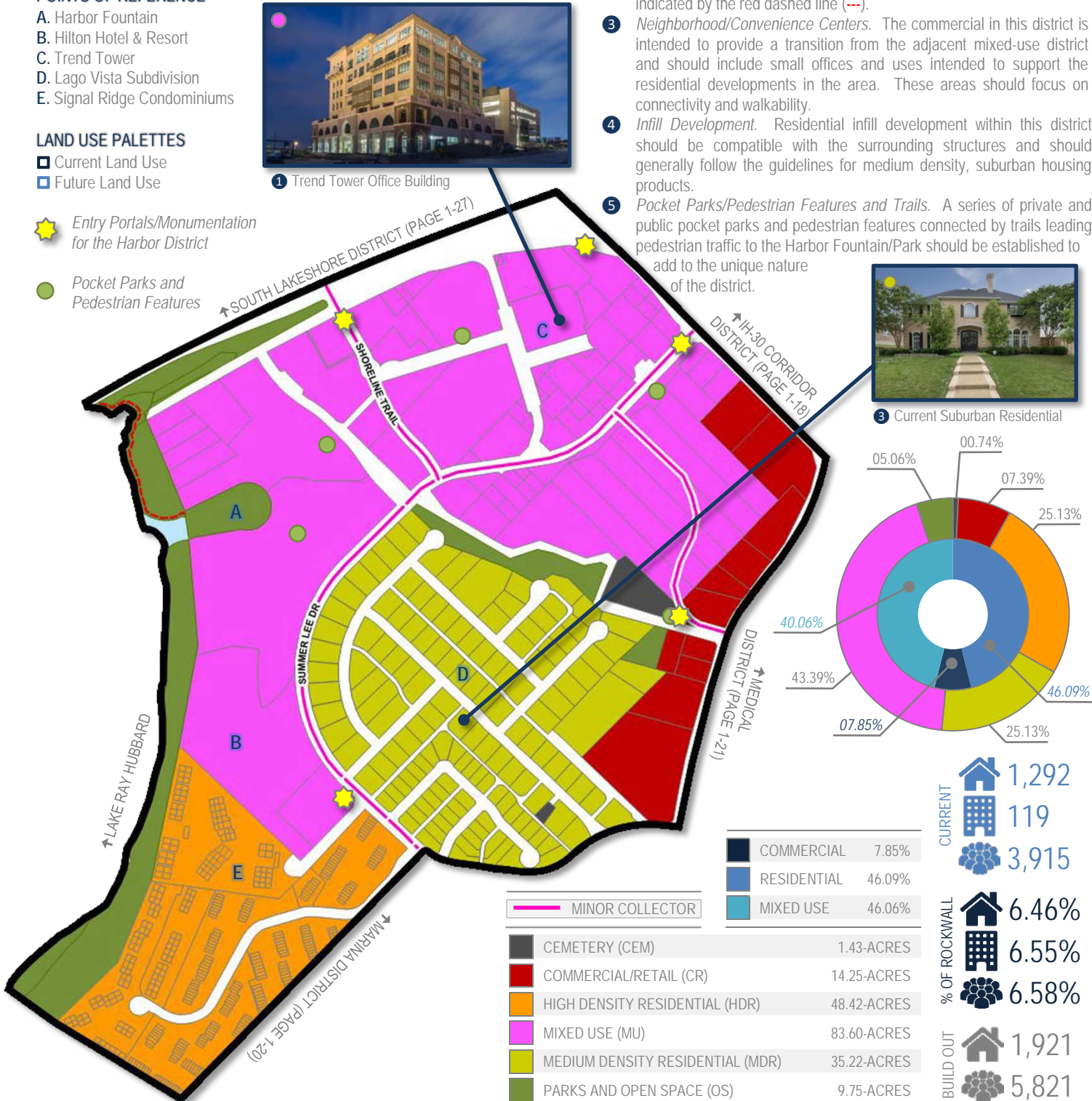
DISTRICT STRATEGIES

With the majority of the urban residential and townhome units being entitled and much of the vacant land planned in accordance with the regulating Planned Development District ordinance, the Harbor District's vision is starting to be realized. To continue to support the growth experienced over the last few years the following strategies should be implemented:

- 1 **Mixed Use.** The areas identified as mixed-use on the district map should generally be developed in accordance with the concept plan contained in Planned Development District 32 (PD-32), and be targeted at providing a pedestrian friendly, walkable, mixed-use district.
- 2 **Lake Access.** The City should continue to explore opportunities for public access to the waterfront for the creation of public parks, passive greenway spaces, and trails. This is specifically important in the areas indicated by the red dashed line (---).
- 3 **Neighborhood/Convenience Centers.** The commercial in this district is intended to provide a transition from the adjacent mixed-use district and should include small offices and uses intended to support the residential developments in the area. These areas should focus on connectivity and walkability.
- 4 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for medium density, suburban housing products.
- 5 **Pocket Parks/Pedestrian Features and Trails.** A series of private and public pocket parks and pedestrian features connected by trails leading pedestrian traffic to the Harbor Fountain/Park should be established to add to the unique nature of the district.



3 Current Suburban Residential



COMMERCIAL	7.85%
RESIDENTIAL	46.09%
MIXED USE	46.06%

CEMETERY (CEM)	1.43-ACRES
COMMERCIAL/RETAIL (CR)	14.25-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	48.42-ACRES
MIXED USE (MU)	83.60-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	35.22-ACRES
PARKS AND OPEN SPACE (OS)	9.75-ACRES

CURRENT	House icon	1,292
	Apartment icon	119
	Flower icon	3,915
% OF ROCKWALL	House icon	6.46%
	Apartment icon	6.55%
	Flower icon	6.58%
BUILD OUT	House icon	1,921
	Flower icon	5,821

06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

LAND USE PALETTES

- Current Land Use
- Future Land Use

- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center

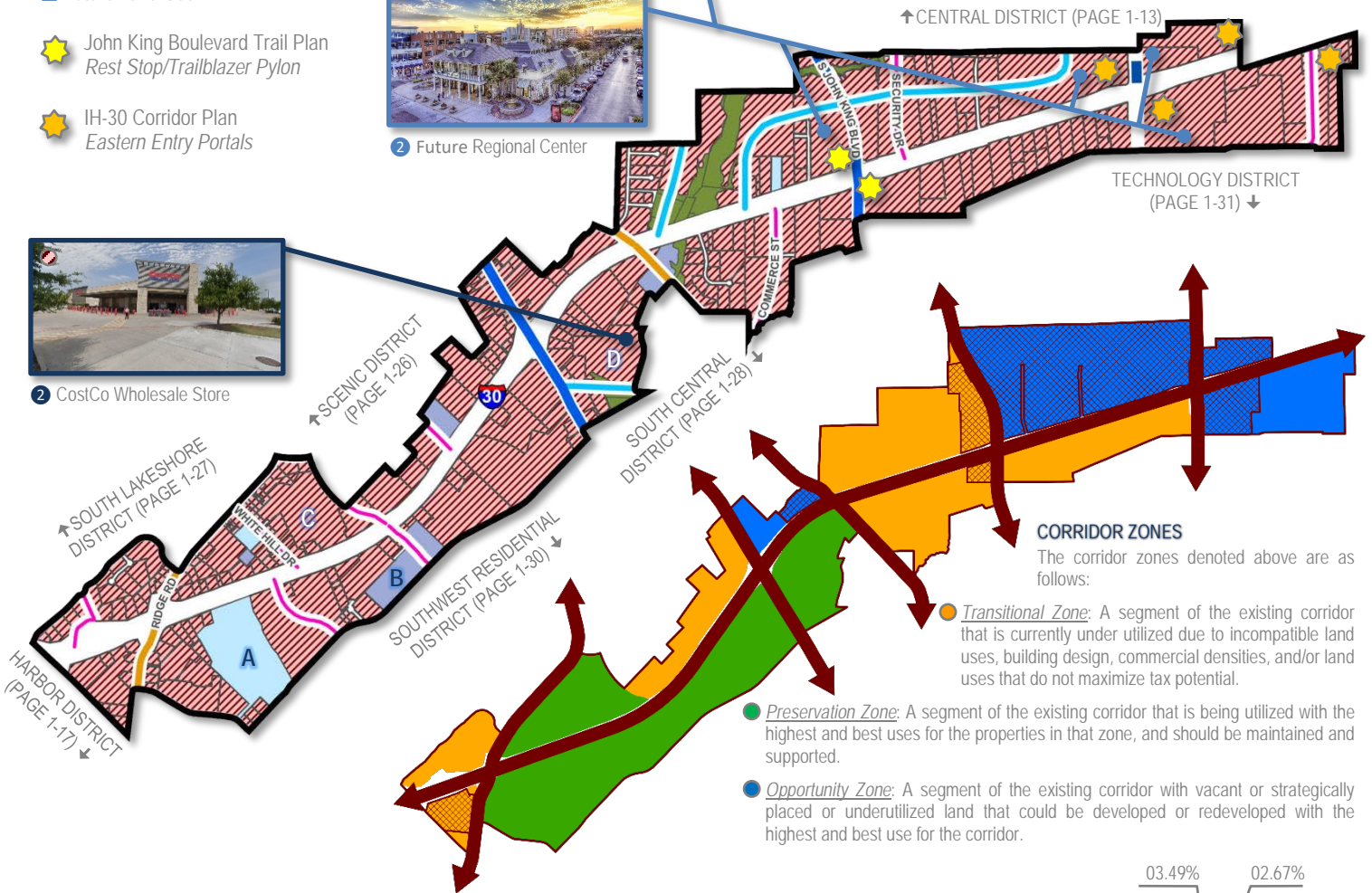


2 Costco Wholesale Store

DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

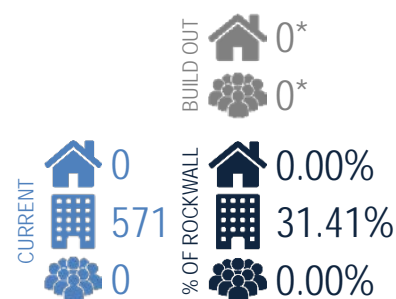
- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



CORRIDOR ZONES

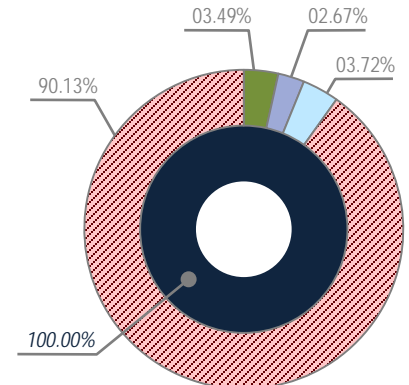
The corridor zones denoted above are as follows:

- Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- Opportunity Zone:** A segment of the existing corridor with vacant or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



	COMMERCIAL	100.00%
	RESIDENTIAL	0.00%
	MIXED USE	0.00%
	PARKS AND OPEN SPACE (OS)	37.03-ACRES
	PUBLIC (P)	28.31-ACRES
	QUASI-PUBLIC (QP)	39.49-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	957.15-ACRES

	MINOR COLLECTOR
	M4U
	M4D
	P6D
	TXDOT 4D



07 INNOVATION DISTRICT

DISTRICT DESCRIPTION

The *Innovation District* is located at the eastern most point of the City's Extraterritorial Jurisdiction (ETJ). This district currently has several existing medium density residential subdivisions, including Alexander Ranch, Wanda Ridge Estates, Bent Trail Estates and portions of the Chisholm Trail Subdivision. Currently, the district is bisected by SH-276, which acts as the districts primary east/west access. The *Innovation District* is intended to build on the possibilities of the future Outer Loop, which could dramatically reshape land use in this area. In addition, this district could provide the potential for a second major commercial/retail and office corridor that could complement the existing IH-30 corridor.

DISTRICT STRATEGIES

With the possibility of the future Outer Loop following the current alignment of FM-548, the *Innovation District's* land use pattern is anticipated to change at the intersection of FM-548 and SH-276. Taking this possibility into consideration the following strategies should be implemented in this district:

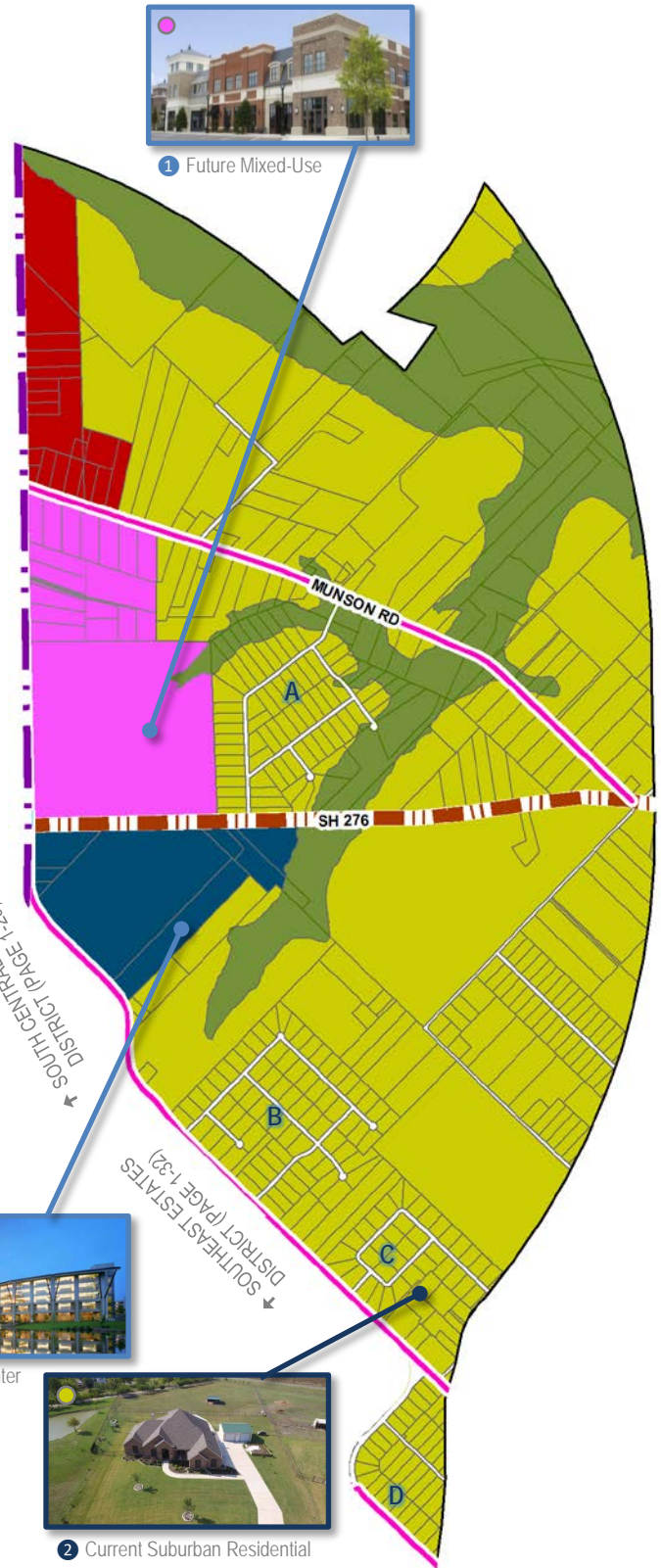
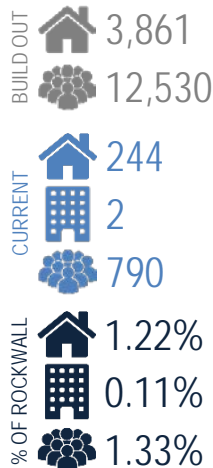
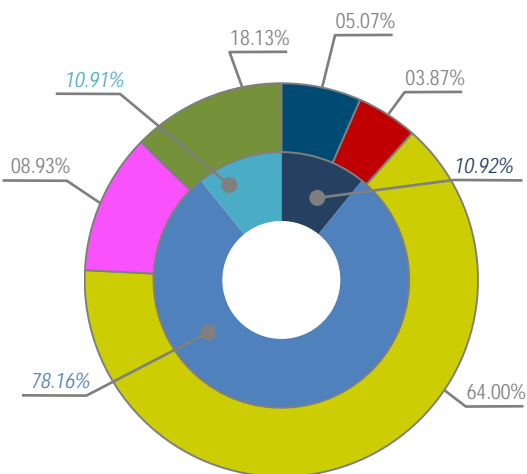
- 1 Opportunity Zone (Intersection of SH-276 & FM-548).** When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses. These uses that can create an "18-Hour" environment (i.e. an environment that provides the ability to live, work, shop, and dine) in the area.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community, any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in the district. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** Due to the anticipated alignment of the Outer Loop (current alignment of FM-548), the commercial/retail centers along FM-548 and SH-276 are ideal for larger scale retail businesses and restaurants that could support office or residential development in the area. These areas could also provide neighborhood service uses intended or smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping, and large buffers) to transition uses.
- 4 Business Center.** The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. corporate headquarters). This area is also suitable for mixed office/commercial land uses.

POINTS OF REFERENCE

- A. Alexander Ranch Subdivision
- B. Wanda Ridge Estates Subdivision
- C. Bent Trail Estates Subdivision
- D. Chisholm Trail Subdivision

LAND USE PALETTES

- Current Land Use
- Future Land Use



Color	Land Use Type	Percentage
Dark Blue	COMMERCIAL	10.92%
Light Blue	RESIDENTIAL	78.16%
Light Green	MIXED USE	10.91%

Color	Land Use Type	Acres
Dark Blue	BUSINESS CENTER (BC)	140.62-ACRES
Red	COMMERCIAL/RETAIL (CR)	107.49-ACRES
Pink	MIXED USE (MU)	247.86-ACRES
Yellow-Green	MEDIUM DENSITY RESIDENTIAL (MDR)	1,775.24-ACRES
Green	PARKS AND OPEN SPACE (OS)	502.86-ACRES

11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

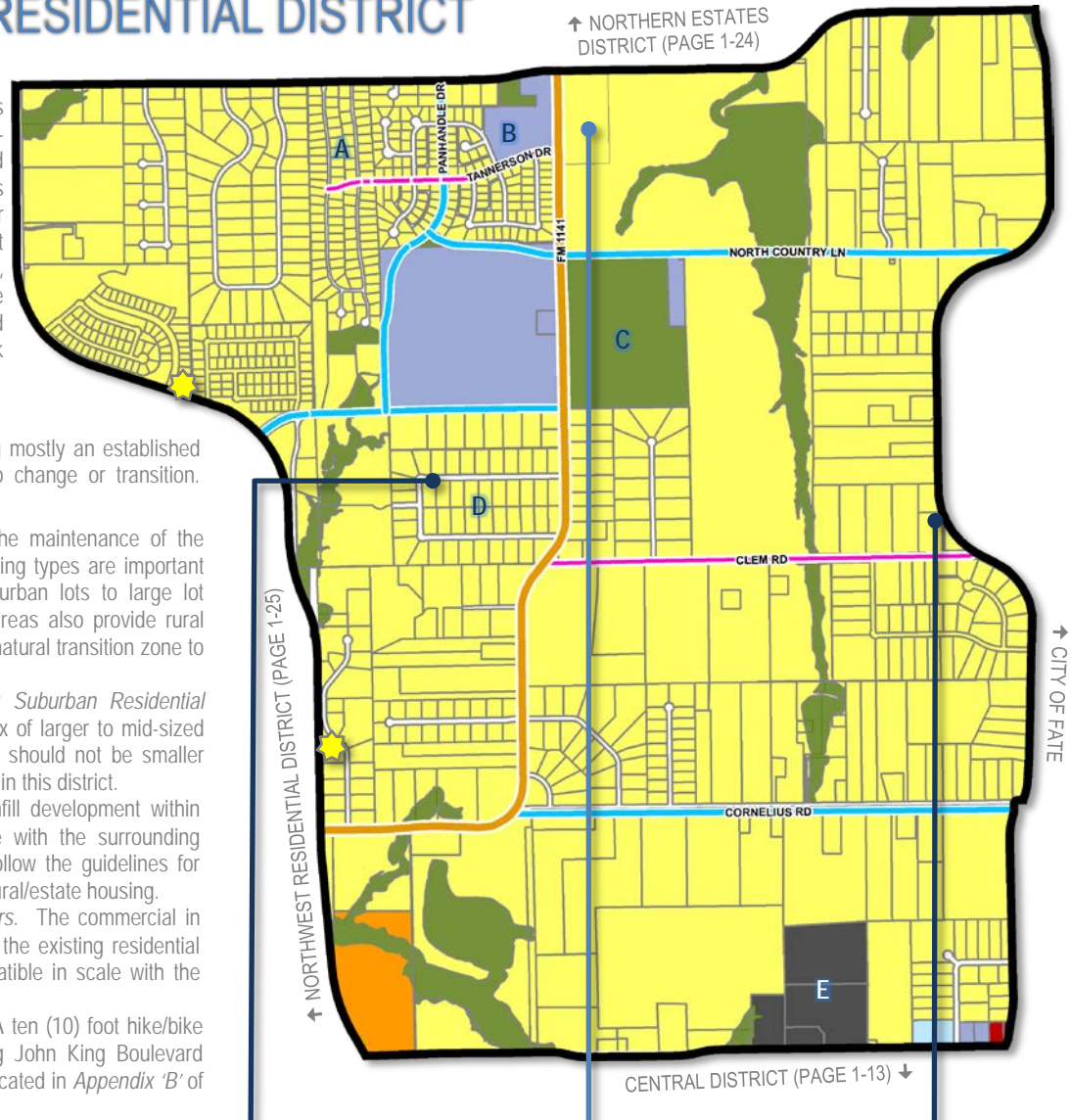
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 *Estate and Rural Residential.* The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 *Suburban Residential.* Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 *Infill Development.* Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 *Neighborhood/Convenience Centers.* The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 *John King Boulevard Trail Plan.* A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT
 1,964
 5,794

% OF ROCKWALL
 3.13%
 0.99%
 3.10%

CURRENT
 625
 18
 1,844



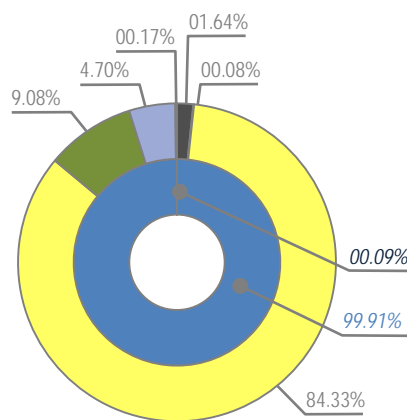
2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential



■ MINOR COLLECTOR	0.09%
■ M4U	99.91%
■ M4D	0.00%
■ CEMETERY (CEM)	32.34-ACRES
■ COMMERCIAL/RETAIL (CR)	1.52-ACRES
■ LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
■ PARKS AND OPEN SPACE (OS)	178.54-ACRES
■ PUBLIC (P)	92.45-ACRES
■ QUASI-PUBLIC (QP)	3.25-ACRES

17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (i.e. *Equestrian Meadows*) and a medium density (i.e. *West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

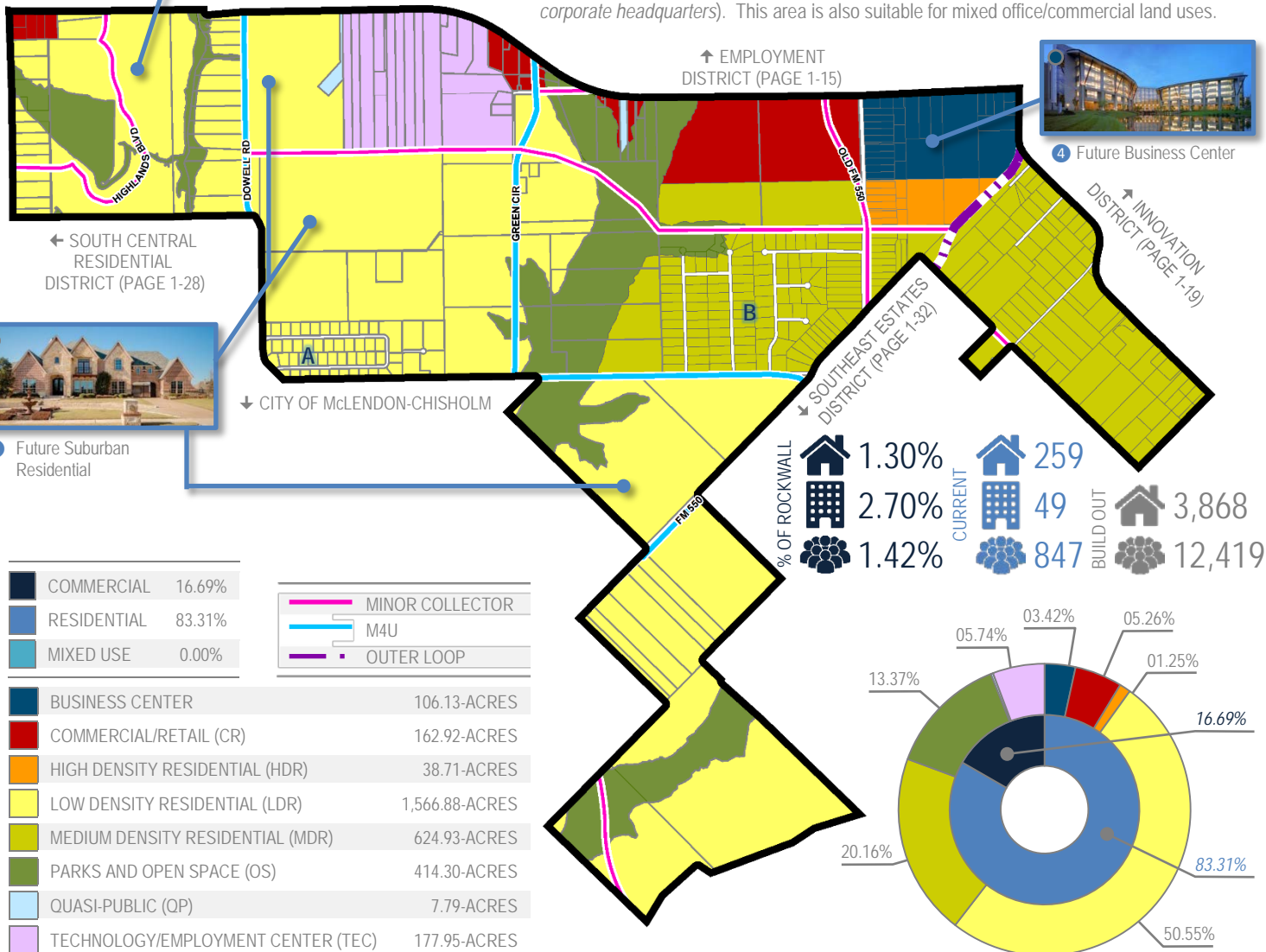
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

↑ TECHNOLOGY DISTRICT (PAGE 1-31)



DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (i.e. *water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone** (*Intersection of SH-276 & FM-548*). When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (i.e. *an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential**. The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers**. Due to the anticipated alignment of the Outer Loop (i.e. *current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center**. The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. *corporate headquarters*). This area is also suitable for mixed office/commercial land uses.



4 Future Business Center



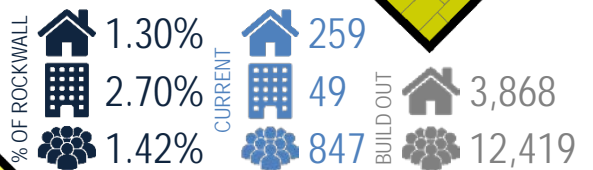
2 Future Suburban Residential

↑ INNOVATION DISTRICT (PAGE 1-19)

↑ EMPLOYMENT DISTRICT (PAGE 1-15)

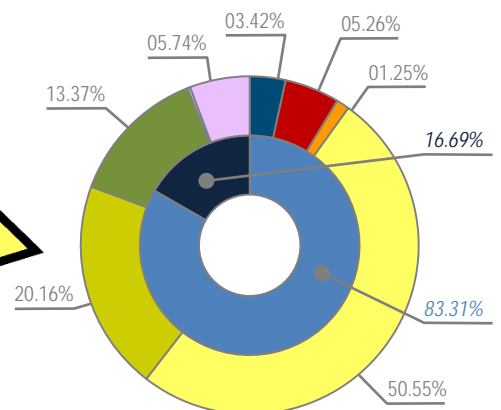
← SOUTH CENTRAL RESIDENTIAL DISTRICT (PAGE 1-28)

↓ CITY OF McLENDON-CHISHOLM



■ COMMERCIAL	16.69%	— MINOR COLLECTOR
■ RESIDENTIAL	83.31%	— M4U
■ MIXED USE	0.00%	— OUTER LOOP

■ BUSINESS CENTER	106.13-ACRES
■ COMMERCIAL/RETAIL (CR)	162.92-ACRES
■ HIGH DENSITY RESIDENTIAL (HDR)	38.71-ACRES
■ LOW DENSITY RESIDENTIAL (LDR)	1,566.88-ACRES
■ MEDIUM DENSITY RESIDENTIAL (MDR)	624.93-ACRES
■ PARKS AND OPEN SPACE (OS)	414.30-ACRES
■ QUASI-PUBLIC (QP)	7.79-ACRES
■ TECHNOLOGY/EMPLOYMENT CENTER (TEC)	177.95-ACRES



20 SUMMARY LAND USE PLAN

SUMMARY OF LAND USE PLAN IN ACRES BY DISTRICT, LAND USE DESIGNATION AND LAND USE

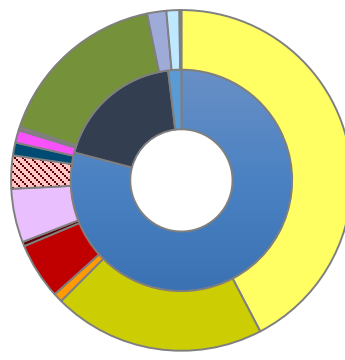
The following is a summary of the total acreage by Land Use District for each Land Use Designation and the corresponding land use breakdown at the time of the adoption of the Comprehensive Plan:

#	DISTRICT (PAGE #)	RESIDENTIAL: 77.17%				COMMERCIAL: 20.63%				MIXED USE: 2.20%				CEM	
		LDR	MDR	HDR	CR	CI	TEC	SC	BC	MU	DT	LW	OS		P
1	CENTRAL (1-13)	234.39	133.75	30.58	143.20		381.07	0.08				204.05	212.77	23.65	0.18
2	DOWNTOWN (1-14)		246.20	6.27	24.06	5.82				37.67	23.85	41.69	35.21	19.70	17.11
3	EMPLOYMENT (1-15)	0.03	355.53		67.72		640.37		86.38			106.27	14.31	39.12	
4	FAR NORTH ESTATES (1-16)	2,265.23	131.27	48.50	48.50							981.02			
5	HARBOR (1-17)		35.22	48.42	14.25					83.60		9.97			1.43
6	IH-30 CORRIDOR (1-18)							957.15				37.03	28.31	39.49	
7	INNOVATION (1-19)		1,775.24		107.49				140.62	247.86	502.86				
8	MARINA (1-20)		317.63	14.04	2.80						100.71			5.18	0.03
9	MEDICAL (1-21)				65.95				36.01			38.65	1.27	26.14	
10	NORTH LAKESHORE (1-22)		1,237.77		56.94						12.29	541.83	40.53	5.58	3.76
11	NORTHEAST RESIDENTIAL (1-23)	1,658.33			1.52							178.54	92.45	3.25	32.34
12	NORTHERN ESTATES (1-24)	1,643.65	0.04	68.87	60.20							341.15	38.11	9.66	
13	NORTHWEST RESIDENTIAL (1-25)		581.43	60.20	20.89					33.21		315.22	52.63	14.31	
14	SCENIC (1-26)		28.04	54.77	34.92						2.63	38.13		2.93	0.75
15	SOUTH LAKESHORE (1-27)		381.87		144.84						3.66	123.68		161.33	0.99
16	SOUTH CENTRAL RESIDENTIAL (1-28)	1,102.26	200.85									283.44	40.36	7.79	
17	SOUTH CENTRAL ESTATES (1-29)	1,566.88	624.93	38.71	162.92	7.79		106.13				414.30		8.67	
18	SOUTHWEST RESIDENTIAL (1-30)	566.88	481.39		277.44	120.50						570.30			
19	TECHNOLOGY (1-31)	425.14	27.22	74.61	78.42	530.85	6.76					1.95	1.95	0.61	
		9,462.79	6,558.38	267.40	1,380.93	126.32	1,560.08	963.99	369.14	364.67	67.81	4,828.84	557.90	374.74	56.59
		35.08%	24.31%	0.99%	5.12%	0.47%	5.78%	3.57%	1.37%	1.35%	0.25%	17.90%	2.07%	1.39%	0.21%

SUMMARY OF HOUSING, BUSINESSES AND POPULATION BY DISTRICT

The following is a summary of the number of housing units, businesses and total population broken out by the Land Use Plan District at the time of the adoption of the Comprehensive Plan and at the projected build out for the City:

#	DISTRICT (PAGE #)	CURRENT			BUILD OUT		
		Houses	%	Population	Houses	%	Population
01	CENTRAL (1-13)	220	1.10%	488	681	1.61%	1,512
02	DOWNTOWN (1-14)	926	4.63%	2,370	1,037	2.44%	2,639
03	EMPLOYMENT (1-15)	202	1.01%	644	987	2.33%	3,149
04	FAR NORTH ESTATES (1-16)	256	1.28%	791	4,269	10.06%	13,191
05	HARBOR (1-17)	1,292	6.46%	3,915	1,921	4.53%	5,821
06	IH-30 CORRIDOR (1-18)	0	0.00%	0	0	0.00%	0
07	INNOVATION (1-19)	244	1.22%	790	3,861	9.10%	12,530
08	MARINA (1-20)	1,536	7.68%	3,923	1,624	3.83%	4,146
09	MEDICAL (1-21)	0	0.00%	0	0	0.00%	0
10	NORTH LAKESHORE (1-22)	4,052	20.26%	12,206	4,358	10.27%	13,135
11	NORTHEAST RESIDENTIAL (1-23)	625	3.13%	1,844	1,964	4.63%	5,794
12	NORTHERN ESTATES (1-24)	904	4.52%	2,671	2,395	5.65%	7,114
13	NORTHWEST RESIDENTIAL (1-25)	1,782	8.91%	5,328	2,347	5.53%	7,018
14	SCENIC (1-26)	1,040	5.20%	2,309	1,092	2.57%	2,424
15	SOUTH LAKESHORE (1-27)	1,618	8.09%	5,501	1,638	3.86%	5,569
16	SOUTH CENTRAL RESIDENTIAL (1-28)	2,153	10.77%	6,911	3,757	8.86%	12,060
17	SOUTH CENTRAL ESTATES (1-29)	259	1.30%	847	3,868	9.12%	12,419
18	SOUTHWEST RESIDENTIAL (1-30)	2,190	10.95%	7,437	4,251	10.02%	14,108
19	TECHNOLOGY (1-31)	701	3.51%	64	2,376	5.60%	6,414
		20,000	100.00%	1,818	42,426	100.00%	129,043



LAND USE DESIGNATIONS:

- LDR: Low Density Residential
- MDR: Medium Density Residential
- HDR: High Density Residential
- CR: Commercial/Retail
- CI: Commercial/Industrial
- TEC: Technology/Employment Centers
- SC: Special Commercial Corridor
- BC: Business Center
- OS: Parks and Open Space

LAND USE:

- LiveWork
- Mixed-Use
- Downtown
- Cemetery
- Public
- Quasi-Public
- Commercial
- Residential
- Mixed Use

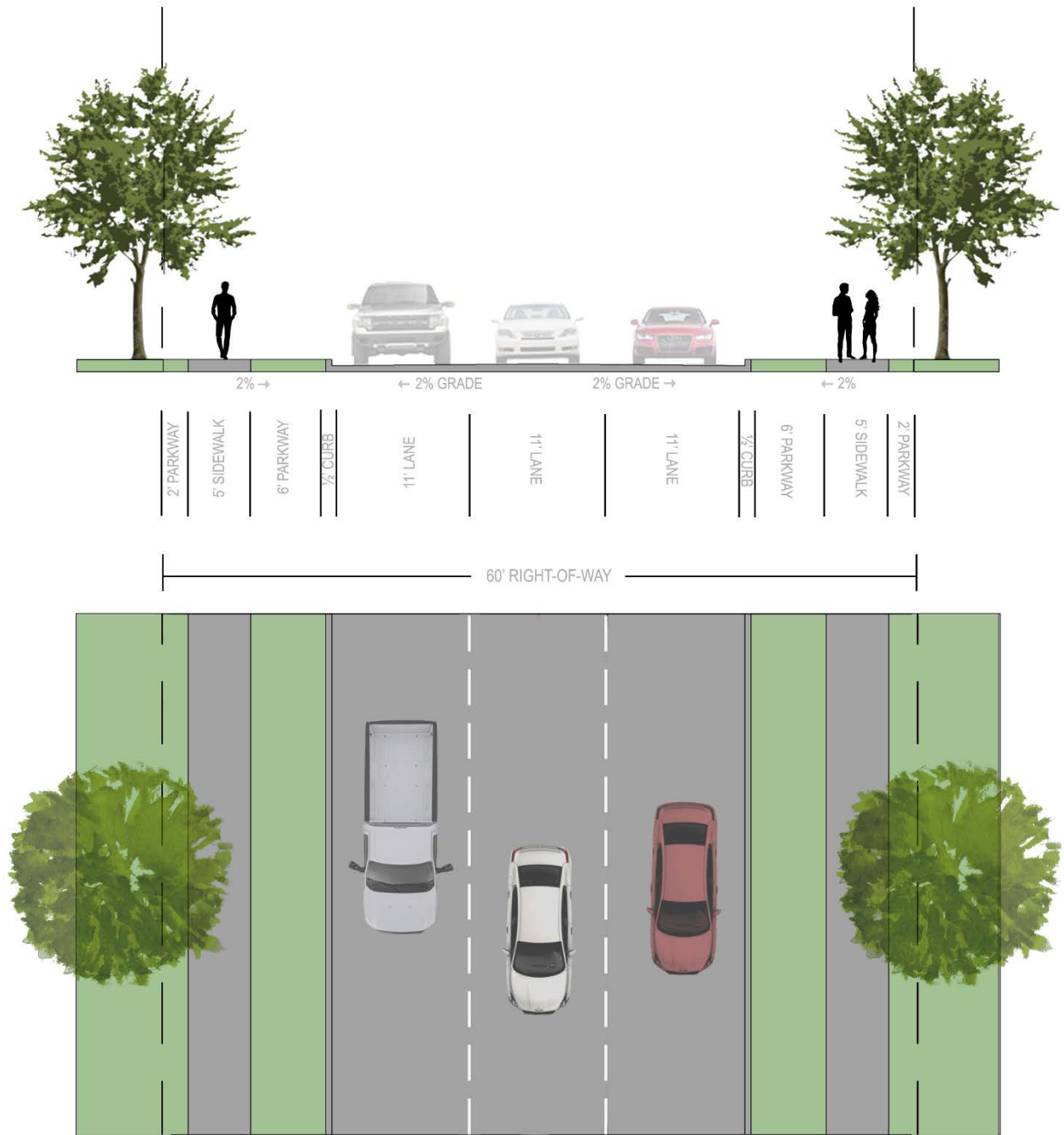
05 STREET CROSS SECTIONS

05 PRINCIPLE ARTERIALS

ROAD TYPE: PRINCIPAL ARTERIAL, THREE (3) LANE, UNDIVIDED ROADWAY

ABBREVIATION: P3U

DESIGN STANDARDS: [1] 60' ROW, [2] NO ON-STREET PARKING, & [3] 45 MPH DESIGN SPEED



04 IMPLEMENTATION PLAN

01 ACTION PLAN

IMPLEMENTATION TIME PERIOD

		2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	
ACTION PLAN	AS # <i>Action Plan Strategy</i>											
	1 <i>Annual Review Process.</i> The <i>Annual Review Process</i> is a review of the previous year's actions and their corresponding effect on the Comprehensive Plan. Through this review City staff, the Comprehensive Plan Advisory Committee (CPAC) and the City Council can make minor changes to the plan to ensure that it continues to be an effective tool for decision-making and accurate representation of the City's vision.	✓	✓									
	2 <i>5 Year Review Process.</i> The <i>5-Year Review Process</i> is a more in-depth review of the goals, policies and implementation strategies contained in the plan. Through this review the City staff, the Comprehensive Plan Advisory Committee (CPAC) and the City Council have the ability adjust or add goals, policies and implementation strategies.											
	3 <i>10 Year Review Process.</i> The <i>10-Year Review Process</i> is intended to allow the Comprehensive Plan Advisory Committee (CPAC) and the City Council set new goals, policies and implementation strategies, and make any changes to the vision necessary to meet that vision over the next ten (10) years.											
	4 Review all development applications for consistency with this Comprehensive Plan.											
	5 Ensure that all proposed Capital Improvement Projects are consistent with the recommendations of the plan.											
	6 In an effort to make the plan available to all Rockwall citizens, staff should ensure that the plan is available in paper copies at City Hall and various electronic formats through the City's website.	✓										
	7 Create an online version of the plan that can be used to track staff's progress, update the community of any changes to the plan through the review process, and allow for continued community interaction.	✓										
8 Revise and update the <i>Existing Conditions Report</i> on a five (5) year basis.												

KEY: ONGOING ACTION REQUIRED: [Blue Box] | REVIEW PERIOD: [Orange Box] | IMPLEMENTATION YEAR: [Dark Blue Box] | EVALUATION OF ONGOING PROGRAMS: [Red Box] | COMPLETED TASKS: ✓ AND 1

04 IMPLEMENTATION PLAN

02 REGULATIONS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD											
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028		
REGULATIONS	1	Work with City Administrators and the City Council to create an Annexation Plan in accordance with Section 43.052 of the Texas Local Government Code to address the possibility of future annexation of land within the City's Extraterritorial Jurisdiction (ETJ). NOTE: On hold due to SB2/HB347 approved in the 86TH Legislative Session.	1	PLANNING AND ZONING DEPARTMENT	HIGH			*				*					
	2	Review the parking standards contained in Article 06, <i>Parking and Loading</i> , of the Unified Development Code to establish a maximum parking ratio and ensure current parking ratios are appropriate for each specified land use, and consider flexibility in cases of redevelopment. In addition, provide incentives for shopping centers to provide shared parking to reduce the overall parking for retail centers.	2 6 7 9	PLANNING AND ZONING DEPARTMENT	MEDIUM												
	3	Review the Unified Development Code and Municipal Code of Ordinances to ensure that these documents incorporate policies and design standards for public safety.	5	POLICE AND FIRE DEPARTMENTS	LOW												
	4	Review the City's residential and commercial screening requirements contained in the Unified Development Code to ensure conformance to the policies contained within this Comprehensive Plan.	1 9	PLANNING AND ZONING DEPARTMENT	LOW	✓											
	5	Review the residential and non-residential development standards and regulations contained in the Unified Development Code to ensure compliance with the policies contained within this Comprehensive Plan.	1 8	PLANNING AND ZONING DEPARTMENT	MEDIUM												
	6	Review the corridor overlay district standards contained in Section 6, <i>Overlay Districts</i> , of Article 05, <i>District Development Standards</i> , of the Unified Development Code to ensure that each corridor overlay district contains requirements that convey the community's character, while continuing to provide unique design standards tailored to the geography and land use of the corridor. In addition, these standards should be reviewed to see if the design standards from the various overlay districts are suitable to apply to development citywide.	7 9	PLANNING AND ZONING DEPARTMENT	MEDIUM		✓										
	7	Review the City's development, landscape and tree mitigation requirements contained in the Unified Development Code to ensure that a sufficient amount of open space is being required with all developments (<i>i.e. residential and non-residential</i>), and that the expansion of any non-residential development requires trees to be planted proportionally to the proposed scope of work.	2	PLANNING AND ZONING DEPARTMENT	LOW												
	8	Review the Mandatory Parkland Dedication Ordinance to incorporate requirements relating to the dedication of trails for all residential and non-residential developments in accordance with the <i>Master Trail Plan</i> contained within this Comprehensive Plan.	3	PARKS AND RECREATION DEPARTMENT	LOW												
	9	Review the Mandatory Parkland Dedication Ordinance for the purpose of creating Community Park Districts.	3	PARKS AND RECREATION DEPARTMENT	LOW												
	10	Review the City's zoning map to identify inconsistencies in land use with the Future Land Use Map for properties in the IH-30 Corridor, and work with stakeholders to resolve these issues.	1	PLANNING AND ZONING DEPARTMENT	MEDIUM												

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [Pattern] | REVIEW PERIOD: [Orange] | IMPLEMENTATION YEAR: [Blue] | EVALUATION OF ONGOING PROGRAMS: [Red] | REGULATORY TIME PERIOD: [Pattern] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [Red] | NOTES: RED

04 IMPLEMENTATION PLAN

02 REGULATIONS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD												
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028			
REGULATIONS	11	Review the City's Agricultural (AG) District standards to ensure that land can remain agriculturally zoned and designated until development of a site is eminent.	1	PLANNING AND ZONING DEPARTMENT	LOW		✓											
	12	Ensure that the City's <i>Standards of Design and Construction Manual</i> allows for the implementation of Traditional Neighborhood Development (TND) principles.	4	ENGINEERING DEPARTMENT	LOW													
	13	Review the City's Permitted Land Use Charts contained in the Unified Development Code to ensure that the employment land use designation on the Future Land Use Map is compatible with the City's zoning districts and the permitted land uses within those zoning districts, make any changes necessary.	1	PLANNING AND ZONING DEPARTMENT	LOW													
	14	Review the City's development requirements contained in the Unified Development Code to ensure that they do not discourage green building practices and principals.	2	PLANNING AND ZONING DEPARTMENT	LOW													
	15	Review the existing density, development and design standards contained in the Unified Development Code to ensure the requirements support and encourage the creation of vibrant public spaces built around social interaction.	7	PLANNING AND ZONING DEPARTMENT	LOW													
	16	Draft model standards for areas zoned for alternative forms of housing (<i>i.e. Townhouses, Condominiums, and Apartments</i>) that can be incorporated in to Article 10, <i>Planned Development Regulations</i> , of the Unified Development Code. These policies will ensure the City has development standards targeted at encouraging the best product available.	8	PLANNING AND ZONING DEPARTMENT	HIGH													
	17	Review the City's residential adjacency standards to ensure that building height and design are addressed in conformance to the policies and procedures of this Comprehensive Plan.	9	PLANNING AND ZONING DEPARTMENT	LOW													
	18	Review Article 06, <i>Permissible Uses</i> , of the Unified Development Code to ensure conformance with the policies and procedures of this Comprehensive Plan.	9	PLANNING AND ZONING DEPARTMENT	LOW													

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [checkered] | REGULATORY TIME PERIOD: [orange with border] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red] | NOTES: RED

04 IMPLEMENTATION PLAN

03 POLICIES & ACTIONS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD												
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028			
POLICIES & ACTIONS	1	Utilize Fiscal Impact Analysis (FIA) to create a fiscal impact model for the purpose of relating cost of service, assessed value and taxable value to potential changes in land uses for the purpose of assisting elected and appointed officials in making informed decisions that will benefit the community.	1 6	PLANNING AND ZONING DEPARTMENT	MEDIUM	✓												
	2	Review the Future Land Use Map on an annual basis to ensure conformance to the policies contained within this Comprehensive Plan and to account for annual changes in [1] growth/development patterns, [2] residential and non-residential zoning changes, [3] and changes in the Parks, Recreation and Open Space Master Plan.	1 2 3	PLANNING AND ZONING DEPARTMENT	LOW													
	3	Develop an Economic Development Strategic Plan that focuses on providing a unified approach to addressing proactive recruitment of commercial businesses (i.e. industrial, office and retail).	6	ADMINISTRATION	HIGH													
	4	Develop a model that can be used to analyze future zoning and land use decisions that are associated with new development. This model should create a rational link between the Future Land Use designation of a property and the resulting impact of a proposed development, and further assist elected and appointed officials in making informed decisions that will benefit the community.	1 6	PLANNING AND ZONING DEPARTMENT	MEDIUM													
	5	Review the Master Trail Plan on an annual basis to ensure that trails and floodplain conform to the policies contained in this Comprehensive Plan. In addition, the plan should be reviewed and revised to account for changes in the City's Master Thoroughfare Plan, and to ensure that plan provides public access points and connectivity and access to all areas in the City.	2 4 7	PARKS & RECREATION DEPARTMENT	LOW													
	6	Review the Parks, Recreation and Open Space Plan and this Comprehensive Plan on a five (5) year basis to ensure the documents goals and policies conform.	3	PARKS & RECREATION DEPARTMENT	LOW													
	7	Work to create an Annual Parks and Recreation Business Plan that can guide programming and events on a yearly basis.	5	PARKS & RECREATION DEPARTMENT	LOW													
	8	Review these residential policies on a five (5) year basis to ensure that they adjust to changes in the market, and continue to provide a long-term vision for the community.	8	PLANNING AND ZONING DEPARTMENT	LOW													
	9	Review and revise the Master Drainage Study on an as needed basis (i.e. upon the annexation of new land or changing of land use).	4	ENGINEERING DEPARTMENT	LOW													

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [red with diagonal lines] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red] | NOTES: RED

04 IMPLEMENTATION PLAN

03 POLICIES & ACTIONS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD												
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028			
POLICIES & ACTIONS	10	Review Drainage Utility Districts (DUD) in other cities and create a feasibility report on DUD's to report to the City Manager and City Council.	4	ENGINEERING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■					
	11	Incorporate a representative from the Police Department in the development review process to ensure that development is being planned in accordance with Crime Prevention through Environmental Design (CPTED) guidelines.	5	POLICE DEPARTMENT	LOW	✓	■	■	■	■	■	■	■	■	■	■	■	■
	12	Evaluate residential initiated enforcement cases for each subdivision and put together an Inspection Efficiency Analysis that can help increase the efficiency of the Neighborhood Improvement Services (NIS) Department in the future.	5	NEIGHBORHOOD IMPROVEMENT SERVICES	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■
	13	Review and update the Downtown Plan (i.e. <i>Downtown Plan: Blue Print for a Downtown Village</i>) and incorporate the findings into this Comprehensive Plan.	1	PLANNING AND ZONING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■	■	■	■	■	■

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: ■ | REVIEW PERIOD: ■ | IMPLEMENTATION YEAR: ■ | EVALUATION OF ONGOING PROGRAMS: ■ | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: ■ | NOTES: RED

04 IMPLEMENTATION PLAN

04 GUIDELINES IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD														
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028					
GUIDELINES	1	Review the City's community design elements and develop a Community Design Plan that can identify new opportunities for landmarks, monuments and public art, and address the use of street furniture throughout the City.	4 7	PLANNING AND ZONING DEPARTMENT	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	2	Identify opportunities and explore possible incentives for the relocation of existing overhead utilities underground.	7	ENGINEERING DEPARTMENT	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	3	Create a Community Housing Survey that documents the character and condition of the City's various neighborhoods for the purpose of tracking the City's housing stock and drafting strategies related to the on-going maintenance and support of these neighborhoods.	5 8	PLANNING AND ZONING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	4	Create a Pedestrian Walkability Plan for the community that specifically addresses strategies for pedestrian access and crossing in areas of the City that do not have sidewalks.	5	PLANNING AND ZONING DEPARTMENT	HIGH	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	5	Create a long-term plan for the IH-30 Corridor that provides recommendations and implementation strategies targeted at protecting, supporting and adapting land uses situated within the corridor. This plan can be incorporated in Appendix 'B', <i>Corridor Plans</i> , of this Comprehensive Plan during the annual update.	6 9	PLANNING AND ZONING DEPARTMENT	HIGH	✓	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	6	Study the SH-276 Corridor and create a corridor plan that can provide a vision, goals, and policies to guide the growth of the corridor. This plan can be incorporated in Appendix 'B', <i>Corridor Plans</i> , of this Comprehensive Plan during the annual update.	1	PLANNING AND ZONING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	7	Continue to use the Historic Preservation Advisory Board (HPAB) to ensure that all infill development and alterations of existing structures within the Old Town Rockwall (OTR) Historic District are in conformance with the Historic Preservation Guidelines contained in the Unified Development Code.	1	PLANNING AND ZONING DEPARTMENT	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	8	Work with the Architectural Review Board (ARB) to create a Visual Preference Survey that can help identify examples of exemplary non-residential development and incorporate them into Chapter 9, <i>Non-Residential</i> , of this Comprehensive Plan.	9	PLANNING AND ZONING DEPARTMENT	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: ■ | REVIEW PERIOD: ■ | IMPLEMENTATION YEAR: ■ | EVALUATION OF ONGOING PROGRAMS: ■ | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: ■ | NOTES: RED

04 IMPLEMENTATION PLAN

07 CAPITAL & FINANCIAL IMPROVEMENTS IMPLEMENTATION SCHEDULE

						IMPLEMENTATION TIME PERIOD										
Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	
CAPITAL & FINANCIAL IMPROVEMENTS	1	Review and revise the Master Thoroughfare Plan on an annual basis to ensure conformance to the policies contained within this Comprehensive Plan, and to account for annual changes in land use patterns and transportation needs.	4	PLANNING AND ZONING DEPARTMENT	LOW											
	2	Review and revise the Paving Assessment on a five (5) year basis to account for changes in roadway conditions.	4	ENGINEERING DEPARTMENT	HIGH											
	3	Review and revise the Water and Wastewater Master Plans and the Impact Fee Study every five (5) years to account for changes to the Future Land Use Map and population projects.	4	ENGINEERING DEPARTMENT	HIGH	✓										
	4	Review the City's existing thoroughfares to look for opportunities to redevelop existing right-of-ways utilizing the goals and policies contained in this Comprehensive Plan.	4	PLANNING AND ZONING DEPARTMENT	LOW											
	5	Develop a long-term strategy for the replacement of City facilities that includes potential adaptive reuses of the existing facilities.	5	INTERNAL OPERATIONS	MEDIUM											
	6	Consider creating a capital project and amenity life-cycle replacement plan that includes projected budget needs.	3	PARKS & RECREATION DEPARTMENT	MEDIUM											
	7	Perform an assessment of all vacant land suitable for non-residential development within the City and anticipate the possible infrastructure required to effectively develop these areas with non-residential development.	6	PLANNING AND ZONING DEPARTMENT	LOW											
	8	Utilize the City's Geographic Information Systems (GIS) software to track and evaluate existing waterlines, and create a replacement program.	4	PLANNING AND ZONING DEPARTMENT	MEDIUM											
	9	Utilize CityWorks Asset Management System software to evaluate the existing water/wastewater system and streamline reoccurring maintenance.	4	PLANNING AND ZONING DEPARTMENT	MEDIUM											
	10	Camera all existing wastewater lines to evaluate the structure integrity and capacity of each segment and log into the Asset Management System.	4	ENGINEERING DEPARTMENT	MEDIUM											
	11	Incorporate an infrastructure section into staff's development case memorandums to account for potential impacts/needs for zoning changes that propose more intense land uses.	4	PLANNING AND ZONING DEPARTMENT	LOW	✓										

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [red with diagonal lines] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red]



01 PURPOSE

This appendix is intended to focus on the City's various major corridors and the relationship of the roadway to the adjacent land, land uses, and aesthetics of these areas. Each corridor study is intended to provide a framework and design guidelines that can assist the decision making process of City staff, the City's various boards and commissions, and the City Council.

02 CORRIDOR PLANS

02.01 IH-30 CORRIDOR PLAN

- ① Background and Introduction
- ② Plan Framework
- ③ Corridor Strategies
- ④ Implementation Plan

02.02 JOHN KING BOULEVARD CORRIDOR PLAN

- ① Background and Introduction
- ② Issues and Opportunities
- ③ Design Concept and Palette
- ④ Design Elements
- ⑤ Access Policies
- ⑥ Implementation

02.03 SH-276 CORRIDOR PLAN

RESERVED.

LEFT: The image depicts TXDOT contractors working in the IH-30 Corridor along the eastern most boundary of the City.

ACKNOWLEDGEMENTS

CITY COUNCIL

Jim Pruitt, *Mayor*
John Hohenshelt, *Mayor Pro-Tem*
Kevin Fowler
Bennie Daniels
Dana Macalik
Trace Johannesen
Patrick Trowbridge

FORMER CITY COUNCIL

Scott Milder
David White
Mike Townsend
Dennis Lewis

PLANNING AND ZONING COMMISSION

Johnny Lyons, *Chairman*
Eric Chodun, *Vice Chairman*
Tracey Logan
Jerry Welch
Mark Moeller
Annie Fishman
John Womble

STAFF PLANNING COMMITTEE

Ryan Miller, *Director of Planning and Zoning*
David Gonzales, *Planning Manager*
Korey Brooks, *Senior Planner*
Amy Williams, *City Engineer/Director of Public Works*
Ariana Hargrove, *Fire Marshal*
John Ankrum, *[Former] Building Inspections Supervisor*
Lance Singleton, *GIS Supervisor*
Lindsay Gnan, *GIS Analyst*
Laura Perez, *Executive Secretary*
Lauri Dodd, *Public Information Officer*

ADMINISTRATION

Rick Crowley, *City Manager*
Mary Smith, *Assistant City Manager*
Brad Griggs, *Assistant City Manager*

1 BACKGROUND AND INTRODUCTION

The Interstate Highway 30 (IH-30) Corridor serves as the City of Rockwall's principal commercial/retail and transportation corridor. Retail and commercial businesses along this passageway are responsible for a large majority of the sales tax generated within the city. Since Rockwall has become the main commercial/retail generator for the county, IH-30 has served as the primary east/west roadway and acts as not only the gateway for traffic entering and exiting the city, but also the county. In addition, Rockwall's businesses

have greatly benefited from the high volumes of traffic carried by IH-30 on a daily basis; however, as the region grows so do the cities situated east of Rockwall, and as demand for commercial/retail grows in these communities, businesses will be attracted to these areas. To maintain the City's competitiveness in the region, Rockwall's City Council directed staff to study the IH-30 Corridor and provide potential strategies that will: (1) address retail/business retention in the corridor, (2) provide strategies to target regional land uses, and (3) provide a plan for strategically located vacant land along IH-30. The following plan framework, corridor strategies, and implementation plan were drafted as part of a larger corridor plan that was approved by the City Council on March 18, 2019. This document is intended to act as a roadmap for planning the IH-30 Corridor's land uses and development characteristics to ensure the future prosperity of the community.

2 PLAN FRAMEWORK

PLAN FRAMEWORK

Broad planning ideas, goals and objectives form the framework used to develop strategies intended to support existing land uses and to target and attract new regional land uses. From the existing conditions analysis, the retail trade area analysis, the benchmark analysis and the stakeholder engagement workshop, prepared with the IH-30 Corridor Plan, the Staff Planning Committee (SPC) created the broad framework depicted in *Figure 1: Plan Framework*. This framework was used to identify strategies for business retention/attraction in the corridor and to draft an implementation plan. This framework includes:

CORRIDOR ZONES

The *Corridor Zones* (i.e. *Preservation, Transition and Opportunity Zones*) -- which were established by citizens and stakeholders as part of *Station 3: Plan Framework of the stakeholder engagement workshop and reviewed by the SPC* -- are as follows (and depicted in *Figure 1: Plan Framework*):

☑ *Corridor Zone #1*: This zone is situated between Horizon Road (FM-3097) and Ridge Road (FM-740) on the north side of IH-30 and is designated as a *Transitional Zone*. This designation is due to the large amount of vacant property that currently exists in this area, and the uncertainty of how the development of this land will affect adjacent/existing land uses.

☑ *Corridor Zone #2*: This triangular shaped zone is situated within the bounds of Ridge Road (FM-740), Horizon Road (FM-3097), and IH-30, and is identified as a *Transition Zone*. This area contains an older shopping center (i.e. *Carlisle Plaza*) that is currently in the process of transitioning. The public also identified this area as a *Strategically Located Property* in the stakeholder engagement meeting. Due to its redevelopment opportunity.

☑ *Corridor Zone #3*: This zone is divided between two (2) designations due to discrepancies between the public's map and the SPC's map. The portion from Ridge Road (FM-740) to Greencrest Boulevard is identified as a *Preservation Zone*, and the area between Greencrest Boulevard and N. Goliad Street (SH-205) is identified as a *Transition Zone*. The split designation indicates a difference in the development of these two (2) areas, and of how these businesses have changed overtime. This split is also attributed to the new development currently taking place in the area between Greencrest Boulevard and S. Goliad Street (SH-205).

☑ *Corridor Zone #4*: This zone is directly south of *Corridor Zone #3* and extends from Ridge Road (FM-740) to N. Goliad Street (SH-205). This area is identified as a *Preservation Zone*, which is primarily attributed to recently developed shopping centers in this zone. These properties are currently considered highly performing commercial/retail properties.

☑ *Corridor Zone #5*: This zone extends from N. Goliad Street (SH-205) to T. L. Townsend Drive and is identified as an *Opportunity Zone*. The purpose of this designation is tied to the large vacant property in front of the County Courthouse, and to other potential redevelopment opportunities within this area.

☑ *Corridor Zone #6*: This zone extends from S. Goliad Street (SH-205) to T. L. Townsend Drive and is identified as a *Preservation Zone*. This area includes newer development in the IH-30 corridor (i.e. *the CostCo shopping center and adjacent land uses*) that should be preserved moving forward.

☑ *Corridor Zone #7*: This zone is identified as a *Transition Zone* and extends from T. L. Townsend Drive to John King Boulevard. This area incorporates industrial and interim land uses that are considered to be

transitioning. In addition, this land also incorporates strategically located vacant property adjacent to the John King Boulevard.

- ☑ Corridor Zone #8: This zone is also situated between T. L. Townsend Drive and John King Boulevard, south of IH-30. The area is identified as a *Transition Zone*, due to the large amount of transitional or interim land uses along the IH-30 frontage road. In addition, the property has several large tracts of land that are currently vacant. When developed these properties could change the land use pattern for the area. This zone also has a strategically located, vacant property at the southwest corner of John King Boulevard and IH-30.
- ☑ Corridor Zone #9: This corridor zone extends from John King Boulevard to Stodghill Road (FM-3549). Since the majority of these tracts are currently vacant, this zone is identified as an *Opportunity Zone* and all property in this area is identified as strategically located property.
- ☑ Corridor Zone #10: This zone is situated between John King Boulevard and Corporate Crossing, and is identified as a

Transitional Zone. The purpose of this designation is tied to the existing land uses and parcelization pattern of the area (i.e. the way the property has been subdivided over time).

- ☑ Corridor Zone #11: This corridor zone is identified as an *Opportunity Zone* and is located north of IH-30, east of Stodghill Road (FM-3549). This zone is vacant and is directly adjacent to the City's eastern City limit line. This entire zone is considered to be a strategically located property.
- ☑ Corridor Zone #12: The final corridor zone is south of IH-30, east of Corporate Crossing. This zone is primarily vacant and only contains a few interim land uses. Due to the largely undeveloped area in this zone, it is identified as an *Opportunity Zone*. In addition, the zone contains strategically located property at the southeast corner of the intersection of John King Boulevard and IH-30.

STRATEGICALLY LOCATED PROPERTIES
Using the findings from the *Benchmark Analysis -- detailed in Chapter 3, Benchmark Analysis for Strategically Located Properties,*

of the *IH-30 Corridor Plan* -- the SPC identified potentially appropriate developments for each of the strategically located properties. The models used in this exercise were as follows:

- (1) Strip Retail Center Model
- (2) Mixed-Use Center Model
- (3) Town Center Model
- (4) Regional Destination Center Model

NOTE: See Section 3, Benchmark Analysis Findings, of Chapter 3, Benchmark Analysis for Strategically Located Properties, of the IH-30 Corridor Plan for definitions/characteristics of each model.

The findings by the SPC are as follows (and depicted in Figure 1: Plan Framework):

- ☑ Strategically Located Property #1: The first strategically located property represents the only redevelopment possibility that was identified by the SPC and/or the public, and could benefit from an adaptive reuse or redevelopment plan. Taking this into consideration the SPC did not apply any of the models to this property. It was simply identified as a *redevelopment opportunity*.
- ☑ Strategically Located Property #2: This strategically located property is situated at the southwest corner of T. L. Townsend

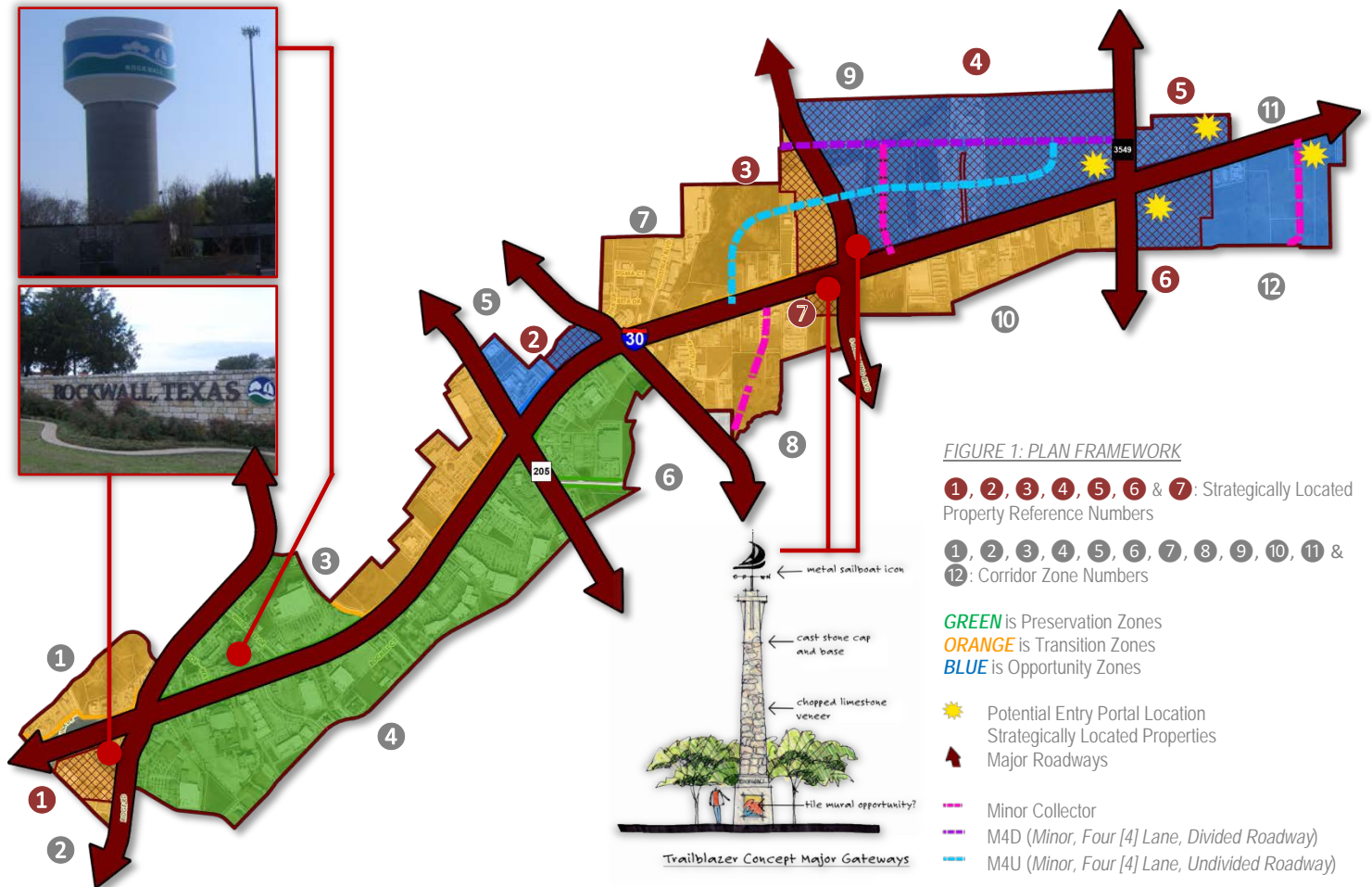


FIGURE 1: PLAN FRAMEWORK

1, 2, 3, 4, 5, 6 & 7: Strategically Located Property Reference Numbers

1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12: Corridor Zone Numbers

GREEN is Preservation Zones
ORANGE is Transition Zones
BLUE is Opportunity Zones

☀ Potential Entry Portal Location
➔ Strategically Located Properties
➔ Major Roadways

--- Minor Collector
--- M4D (Minor, Four [4] Lane, Divided Roadway)
--- M4U (Minor, Four [4] Lane, Undivided Roadway)

Drive and the IH-30 frontage road, and is currently owned by Rockwall County. The SPC unanimously identified this property as being suitable for a *Strip Retail Center*. It should also be pointed out that this property is currently entitled for this type of development under the Commercial (C) District as defined by the UDC. The SPC felt that despite being a highly visible site this model was appropriate due to the limited access caused by the location of the on/off ramps at John King Boulevard and S. Goliad Street (SH-205).

- ☑ Strategically Located Property #3: This strategic area is located adjacent to the western right-of-way line of John King Boulevard, and is partially zoned Commercial (C) District with the remainder being zoned Light Industrial (LI) District. The SPC identified this property as being suitable for a *Mixed-Use Center* or a *Town Center*. This designation is due to the location and visibility of the property, and that it is located near and accessible from two (2) major roadways (i.e. *John King Boulevard and Justin Road*) and a major highway (i.e. *IH-30*). With this being said the property is situated below the highway overpass and as a result the site has limited visibility for a single-story structure. Structures that are two (2) to three (3) stories in height would be better suited for this property.
- ☑ Strategically Located Property #4: This area is located between John King Boulevard and Stodghill Road (FM-3549), north of IH-30. The properties in this area are zoned as Commercial (C), Light Industrial (LI) and Agricultural (AG) Districts. Due to the large acreage of these strategic properties, the SPC broke the designation of this area into three (3) zones. The first was directly adjacent to John King Boulevard and was identified as being suitable for *Strip Retail Center* by the SPC. The second area was located between Security Drive and the golf course (i.e. *A1 Golf*) and was identified as being suitable for a *Town Center* development. The third area was the remainder of the property and was identified as being suitable for a *Regional Destination Center*. These designations stem from the good visibility and close proximity to major roadways. In addition, this property is in an ideal location for a large commercial/retail development/regional center.
- ☑ Strategically Located Property #5: This property is located at the northeast corner

of Stodghill Road (FM-3549) and IH-30 and is zoned Commercial (C) District. Due to the linear nature of this strategically located property, the SPC identified the *Mixed-Use Center* and *Strip Retail Center* as being potentially appropriate models for development. This property does have limited access and poor visibility from east bound traffic, but is located directly adjacent to *Strategic Located Property # 4* making the possibility for a major intersection at IH-30 and Stodghill Road (FM-3549) highly likely.

- ☑ Strategically Located Property #6: This strategically located property is situated at the southeast corner of Corporate Crossing and IH-30 and is currently zoned Commercial (C) District. The SPC identified this property as being appropriate for both a *Mixed-Use Center* or a *Town Center* based on the location, acreage and its relation to the highway and Corporate Crossing. A *Strip Retail Center* and *Regional Destination Center* were also identified by the SPC as being viable alternatives for this property.
- ☑ Strategically Located Property #7: The final strategically located property is situated at the southwest corner of John King Boulevard and IH-30. The SPC identified this property as predominantly being suitable for a *Strip Retail Center*; however, it was also thought to be a suitable location for a *Mixed-Use Center*. It was ultimately decided by the SPC that this property has the acreage and carrying capacity for both types of centers, but is probably best suited for a *Strip Retail Center* that incorporates a grocery store or other large neighborhood service retailer as a primary anchor. The purpose of this designation is due to the poor visibility caused by the highway overpass and the close proximity to a large amount of residential homes and apartment units. The property is currently zoned Commercial (C) District.

ENTRY PORTALS

Entry portals are an essential element to creating a sense of place and distinguishing a City's boundaries. Currently, the City's western boundary is well defined by Lake Ray Hubbard and the Harbor District. The portals create a defined natural and built edge to the City. The eastern boundary of the City, on the other hand, is undefined. When the SPC examined this area, it was decided that an entry portal was an important element in the plan moving forward; however, the SPC was of

the opinion that it was somewhat difficult to define what an entry portal in this area should look like since these properties remain largely undeveloped. With this the SPC choose several locations where an eastern entry portal could be incorporated at the time the adjacent properties develop. The thinking behind this was that the portal would match the architecture of future development if constructed at the same time as the properties. *Figure 1: Plan Framework* shows the four (4) possible portal locations identified by the SPC along with all existing and proposed monumentation throughout the corridor.

TRANSPORTATION FACILITIES

Looking at the existing and proposed roadway facilities, the corridor is already well circulated, and the future facilities are a good approximation of what will be needed to circulate any future development; however, without knowing exactly what will be developed on these parcels the SPC felt that the current number of roadways depicted on the property between John King Boulevard and Stodghill Road (FM-3549) could be a deterrent to development. With Justin Road extending through the property from east to west and a M4U (minor, four [4] lane, undivided roadway) curving through the property from east to west, two (2) Minor Collectors extending north to south were deemed unnecessary. The SPC was also of the opinion that Commerce Street should be continue in a southwardly direction connecting the IH-30 Frontage Road to T. L. Townsend Drive. These were the only changes to the existing and proposed transportation facilities that appeared to be necessary as a result of this study. *Figure 1: Plan Framework* depicts the proposed roadway amendments.

Staff should point out that these changes were incorporated into the revised Master Thoroughfare Plan contained in this Comprehensive Plan, and that no additional actions would be required with regard to transportation facilities. This was incorporated after the Comprehensive Plan Advisory Committee (CPAC) made similar findings about these areas.

LAND USE PLAN

Looking at the current Future Land Use Plan for the IH-30 Corridor, only about 37.56% of the corridor is identified as a *Special Commercial Corridor*. The remainder of the corridor is scheduled for *Commercial* (38.35%), *Technology/Light Industrial* (13.33%), *Special District* (4.70%), and to a lesser degree *Parks and Open Space, High*

Density Residential, Public Uses and Quasi-Public Uses. After reviewing the goals and objectives of this study, the SPC recommended that the majority of the corridor should be designated as a *Special Commercial Corridor*. The only area that the SPC wanted to deviate from this land use scheme, was the area directly adjacent to the railroad tracks between John King Boulevard and Stodghill Road (FM-3549). The SPC felt that this area should be flexible in nature and be designated for either *Technology/Employment Center* and/or *Special Commercial Corridor*. The purpose of this flexibility was to allow industrial or technology firms the ability to locate within the corridor, adjacent to the existing railroad facilities; however, the flexibility would provide for an easy transition to commercial uses should a regional land use be identified for this area. This change was incorporated into *Map 1: Future Land Use Plan* contained in *Appendix C, Maps* of this Comprehensive Plan.

SUMMARY OF PLAN FRAMEWORK

The assemblage of all this information forms the *Plan Framework* of this study. A map of this framework is depicted in *Figure 1: Plan Framework*. A summary of the recommendations provided by this framework are as follows:

- (1) The corridor zones that were established as part of this study are intended to guide policy decisions for the final recommendations contained in Chapter 6, *Corridor Strategies & Implementation Plan*, of the *IH-30 Corridor Plan* and which are outlined in Subsection 02.01(3), *Corridor Strategies*, of this section of Appendix B, *Corridor Plans*.
- (2) The strategically located properties identified by the SPC were classified based on their potential carrying capacity for retail/regional land uses. This part of the plan framework was to draw attention to these properties and provide various possibilities that would fit the City's desire for regional development.
- (3) Monumentation locations were identified for the purpose of creating an eastern entry portal. The design of these monumentation markers should be incorporated into the site plan approval process to allow for review by the Architectural Review Board (ARB) prior to adoption by the City's Planning and Zoning Commission and City Council.
- (4) The SPC identified potential changes to two (2) roadways on the Master Thoroughfare Plan. This involves an

extension of Commerce Street and the removal of a proposed street running parallel to Security Drive.

- (5) Finally, a coherent land use plan that is tied to the goals of this study was laid out. This plan primarily promotes the future of the corridor being zoned and developed in accordance with the *Special Commercial Corridor* designation of this Comprehensive Plan; however, it does make some allowances for flexible land use (*i.e. office/industrial*).

3 CORRIDOR STRATEGIES

The final objective of the Staff Planning Committee (SPC) was to assemble a list of strategies that could be utilized as part of the implementation plan of this study. In doing this the SPC talked about *Offensive* and *Defensive Strategies*. In this case, the *Defensive Strategies* were thought to be pre-emptive strategies centered on regulation or policy actions that the City could implement for the purpose of addressing potential or perceived issues. *Offensive Strategies*, on the other hand, included proactive actions that involved activities like offering incentives, waivers and assistance. In doing this, the SPC also talked about what zone each strategy would affect and who would be responsible for implementing the strategy. A key to the corridor zones and implementation organizations is as follows:

DEPARTMENTS, BOARDS & COMMISSIONS

- City Council: CC
- Planning and Zoning Commission: PZC
- Architecture Review Board: ARB
- City Manager/Administration: M
- City Attorney: CA
- Building Inspections Department: BI
- Fire Marshals Division: FM
- Planning and Zoning Department: PZD
- Engineering Department: E
- Neighborhood Improvement Services: NIS

CORRIDOR ZONES

- Transitional Zone
- Preservation Zone
- Opportunity Zone

On March 18, 2019, the City Council approved the following *Offensive* and *Defensive* strategies for use within the IH-30 Corridor:

DEFENSIVE STRATEGIES

STRATEGY 1 PREVENT THE OVERSATURATION OF CERTAIN LAND USES IN THE CORRIDOR ●●

Prevent the oversaturation of certain land uses in the corridor by prohibiting and/or requiring discretionary approvals of these land uses.

Currently, the IH-30 Corridor has a high percentage of automotive (8.99%) and industrial (8.37%) land uses, which are typically incompatible with higher end retail users. In addition, these land uses -- *specifically automotive land uses* -- consume a large portion of the current frontage along IH-30 (~26.69%), which means these uses also have high visibility in the corridor. If the intent of the City is to create a commercial/retail corridor, special attention needs to be paid to what land uses are established on the remaining 45.35% vacant land. This is specifically important with the remaining 28.77% of vacant land with frontage on IH-30. To achieve this staff can review Article 04, *Permissible Uses*, of the Unified Development Code to look for possibilities to incorporate discretionary approvals or limit undesirable land uses along IH-30. In addition, staff can look to prohibit certain land uses (*e.g. outside storage*) that are currently allowed through discretionary approval, but may not be desirable for attracting and establishing a regional retail use.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): Since this is a policy change, there are no anticipated hard costs to be incurred by the City as a result of implementing this strategy. In addition, this strategy can be implemented without assistance from outside consultants.

Estimated Implementation Time: This is estimated to take between 20 to 40-hours of staff time to review the Unified Development Code and draft an ordinance addressing the proposed changes for the City Council's review. This text amendment would be required to be advertised and adopted in accordance with the procedures of the Unified Development Code (*i.e. approximately eight [8] weeks*).

STATUS: ONGOING

STRATEGY 2 INCONSISTENT ZONING REQUESTS ●●●

Zoning approvals that are inconsistent with the *Future Land Use Plan* contained in the Comprehensive Plan should be limited. The *Future Land Use Plan* is a document intended to guide zoning in the City of Rockwall. In addition, zoning approvals not consistent with the *Future Land Use Plan* could have a negative impact on existing land uses, and could have an undesirable effect on the economic stability of the corridor (*i.e. create*

conditions not conducive for retail land uses). Moreover, inconsistent zoning approvals change the *Future Land Use* mix, which is designed to yield an 80% Residential/20% Commercial mix (i.e. intended to yield a 67% residential value/33% commercial value tax base) per this Comprehensive Plan. To better address inconsistent changes in zoning, staff should develop a process to convey how the approval of inconsistent zoning would change the *Future Land Use Plan*. This should be provided with or in staff's case memos to the Planning and Zoning Commission and City Council.

Implementation Responsibility: PZD, CA, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: The Planning Division can implement this policy amendment through changes in the current procedures and through the creation and implementation of a tool that will clearly convey the desired information. It should be pointed out that the creation of this process is currently a *strategic goal* on the City's *Strategic Plan* and included in this Comprehensive Plan as an *Implementation Strategy*.

STATUS: ONGOING

STRATEGY ③ DISCOURAGE STRIP DEVELOPMENT ●●

The City of Rockwall has several *Strip Retail Centers* as defined in the findings from the benchmark analysis contained in Chapter 3, *Benchmark Analysis*, of the *IH-30 Corridor Plan*. The establishment of new strip retail centers could have the effect of cannibalizing the businesses that are currently located in the City's existing strip retail centers. This could also create a larger problem for the existing centers due to the transient nature of small businesses that tend to locate in these areas (i.e. *businesses in these shopping centers tend to move to newer developments as they progress along the highway*). To combat this possibility, the City could take steps to discourage strip retail centers by amending the design standards contained in the Unified Development Code. Examples of these changes would include policies targeted at requiring shared facilities (i.e. *parking, access, drive facilities, etc.*), limiting parking fields in the fronts of buildings, requiring the provision

of open space, restricting signage, etc. This would also require provisions that target mixed-used development (e.g. *office land uses mixed with retail/commercial land uses*). It should be noted that while the SPC did identify some of the strategically located properties as being ideal for *Strip Retail Centers*, this would ultimately depend on the carrying capacity of the corridor (i.e. *to avoid cannibalizing existing businesses the demand of the community would need to increase to justify an additional strip retail center*).

Implementation Responsibility: PZD, ARB, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change requires a comprehensive review of the City's commercial design standards, and would take time to prepare the necessary text amendments. The total time necessary to complete this strategy will vary depending on the extent staff will have to amend the ordinances. Staff estimates this could take between 30 to 40-hours to complete. In addition, it may be advantageous to use the Planning and Zoning Commission and/or Architectural Review Board (ARB) as design committees to assist staff in drafting the desired changes. Any ordinance changes would need to be adopted in accordance with the procedures contained in the Unified Development Code (i.e. *approximately eight [8] weeks*).

STATUS: ONGOING

STRATEGY ④ LIMIT SINGLE USE BIG-BOX DEVELOPMENT ●●●●

Single use big-boxes can have an immediate and positive effect on a City's ad valorem tax value; however, if abandoned they can also have an effect on the perception of economic health in an area. Currently, the City's big-boxes appear to be economically sound with little to no risk of being abandoned; however, it is a good idea to take a pro-active approach to this issue. Single use big-boxes are typically attractive to businesses that are considered to be category killers and/or discount warehouse stores (e.g. *Wal-Mart, Home Depot, Costco, etc.*). Developing a single big-box is also the typical suburban model for these types of stores. By creating policies that force co-location and mixed-uses the City ensures that

these businesses adapt their models to meet the vision of the community, as opposed to allowing these businesses to dictate the community's appearance. By limiting single use big-boxes moving forward, it also has the added effect of protecting the City's current big-boxes, and perhaps staving off the possibility of having ghost boxes (i.e. *empty big-boxes*) in the future.

To achieve this, the City Council could look at development standards that discourage single use big-box users. These types of policies would include regulations like imposing size caps on single use big-box developments (i.e. *limit individual users to discretionary approvals on buildings that are greater than 20,000 – 30,000 SF*), drafting requirements that provide for roof and façade modulation to allow the buildings to be broken up in the case of abandonment, adopting parking requirements that require parking to be located behind the front façade of the buildings, creating a window requirement, and etcetera.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change would require staff to review the City's current *General Commercial Building Standards*, and draft an ordinance with the necessary text amendments. The total time necessary to complete this strategy could vary; however, staff estimates a completion time of 30 to 40-hours with an additional eight (8) weeks for the adoption of an ordinance change to the Unified Development Code.

STATUS: ONGOING

STRATEGY ⑤ ADAPTIVE REUSE ORDINANCE OR STRATEGY ●●

Building on the previous strategy, one of the main reasons that City's end up with vacant big-box developments are changes in the economics of a property's location (i.e. *the site can no longer support/sustain a larger retail user*). This may mean that a particular site or location is no longer viable as a large retailer. *Adaptive Reuse* ordinances, also referred to as *Ghost Box* ordinances, are ordinances intended to address this common problem. As previously stated, the City of Rockwall has not had issues with empty big-boxes; however, a

proactive approach to this issue could prove to be valuable in the future. Below is a picture of the vacant *Sports Authority* building, which is a single user big-box that was vacated in 2016. Luckily, this building was quickly replaced with an *Academy Sports and Outdoors*; however, this quick replacement may not always be the case.

The City's current ordinance does incorporate an accountability clause that states that "(f)or those buildings over 80,000 SF in area, the applicant must demonstrate that the building can be subdivided in a reasonable manner by submitting a plan indicating potential entrances and exits and loading areas for multiple tenants." This language could be strengthened and the requirement for this accountability clause could be lowered to buildings greater than 30,000 SF. In addition, the City Council could look into establishing ordinances that: (1) creates a fee waiver program for the adaptive reuse of buildings greater than 30,000 SF (*i.e. creating a waiver for building permit fees*), (2) establish a bonding program that is tied to the demolition of the big-box, (3) creates a program that stipulates companies building big-boxes be required to pay into a *Land Conservation Fund*, which can be used for re-greening or converting an abandoned big-box to allow for infill development (*these ordinances are referred to as White Elephant Ordinances*), and/or (4) creates an incentive zone that deals with alternative use/requirements for conversion/redevelopment efforts.



Figure 6.1: Vacant Sports Authority building prior to being converted to an Academy this year.

Implementation Responsibility: PZD, CA, CM, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The time necessary to create an *Adaptive Reuse Ordinance* or policy will depend on the scope

that the City Council chooses. These programs also would need to be vetted by the City Attorney. In this case, it may take several months to prepare and adopt an ordinance creating each of these programs.

STATUS: *IN PROCESS*

STRATEGY 6 PROMOTE THE INCORPORATION OF OPEN SPACE IN LARGER DEVELOPMENTS

As was seen in the *Benchmark Analysis* in Chapter 3, *Benchmark Analysis*, of the *IH-30 Corridor Plan*, nearly all of the regional developments surveyed by the SPC contained open/green space. The importance of incorporating open/green space in commercial developments was further validated through the stakeholder engagement process. In both exercises requesting participants to identify their preferred development choice -- *with the choices being those reviewed by the SPC as part of the benchmark analysis* -- the top results were developments incorporating large amounts of open/green space (*e.g. Grandscape at 26% open space and Toyota Stadium at 5% open space and 35% sports fields*). In addition, the exercise asking participants to prioritize issues/priorities in the corridor indicated that open/green space was important. Both *Parks/Trail/Walkability* and *Increased Open Space* scored in the top five (5) items identified by the public as priorities and issues. Moving forward provisions requiring a percentage of functional open space -- *above and beyond the required landscape buffer and detention ponds* -- could be incorporated into the design standards for large commercial developments. This would need to be scaled to the development and would not be applicable across the board (*i.e. would not be appropriate for developments with less than 20-acres*).

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): Since this strategy would affect future development the implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The implementation of this policy could be completed with an estimated ten (10) to 20-hours of staff time required to prepare an ordinance amendment to the Unified Development Code (*i.e. approximately eight [8] weeks for approval*).

STATUS: *ONGOING*

STRATEGY 7 REVAMP THE CITY'S PARKING STANDARDS

Commercial developments along the corridor are exclusively made up of surface parking lots situated in the fronts of buildings. Often times these parking areas are two (2) to three (3) times larger than the building it services (*see image below*).



Figure 6.2: Kohl's Parking Lot, which recently was subdivided to incorporate a Cracker Barrel restaurant at the northeast corner.

In most of these cases the parking lot is rarely if ever full. To address this issue the City Council could choose to establish parking maximums that would limit inefficient uses of land within the corridor. These policies could also promote shared parking agreements and structured parking.

Typically, the argument against structured parking is the high initial cost to establish these facilities; however, if a district wide approach that discourages single use big-boxes is taken by the City, it is not inconceivable to expect more efficient parking solutions. In addition, the City should, where possible, promote shared parking arrangements that are mutually beneficial to developers, property owners and tenants by accounting for varying peak demand. This should have the benefit of increasing the buildable land within the corridor.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The implementation of this policy change is anticipated to take between ten (10) to 20-hours of staff time to research and prepare an

ordinance amending the parking requirements contained in the Unified Development Code. The ordinance would take approximately eight (8) weeks for approval/adoption.

STATUS: IN PROCESS

STRATEGY 8 CREATE MODEL ZONING ORDINANCE FOR REGIONAL MIXED-USE DEVELOPMENT

Article 05, *District Development Standards*, of the Unified Development Code contained standards for a Mixed-Use Overlay (MUO) District (*these standards were recently removed*); however, this district has not been applied to the zoning map. Building off the current standards contained in this section of the code, staff could create a model zoning ordinance for either an overlay district that can be applied to the strategic properties in the corridor or model regulations for a planned development district ordinance -- *similar to the residential standards contained in Article 10, Planned Development Regulations, of the Unified Development Code* -- intended to regulate mixed-use development in the corridor. This could include the information observed by the SPC as part of the *Benchmark Analysis*. This type of ordinance would also layout the City's desired site and building design standards, as well as, address any *incentive zoning* practices intended to incentivize regional development.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: Staff estimates that a model zoning ordinance could be drafted in two (2) to three (3) weeks. The ordinance would take approximately eight (8) weeks for approval.

STATUS: IN PROCESS

STRATEGY 9 ADOPT POLICIES TARGETED AT SUPPORTING SMALL BUSINESSES

As part of the *Benchmark Analysis*, the SPC noticed that many of the regional centers they surveyed (*specifically mixed-use centers*) were built with a larger focus on smaller lease spaces. This is directly opposed to the classic

anchor model, which is prevalent in *Strip Retail Centers* and until recently was the preferred model for suburban development by developers. This shift, however, signifies the importance that developers are now placing on small businesses. This may be due to the idea that small businesses have several understated benefits that extend beyond a City's bottom line. For example, small businesses that are successful in a community can shape a unique identity, create a sense of place and enhance community character. In addition, small businesses also have the added benefit of being well suited for adaptive reuse situations, which could play a major role in the economic vitality of the corridor in the future. Rockwall, as a whole, has a healthy history of supporting small businesses -- *especially in the downtown area* -- and there is no reason for this not to continue in the City's primary commercial/retail corridor. To ensure that small businesses are supported in the corridor, staff should look to remove any unintentional barriers in the zoning code that might hinder a small business' ability to open in Rockwall. The majority of these barriers will be in the City's land-use categories, which are somewhat outdated for many of the new types of uses that have been established recently. Addressing this subject, the July 2016 issue of *Zoning Practice* (a periodical released by the *American Planning Association*) identifies four (4) examples of new land uses that have emerged as small businesses recently: (1) specialty food production, (2) industrial design, (3) artisan industrial, and (4) local alcohol production facilities. Under our current use charts these uses, in most cases, would be classified under an *Industrial and Manufacturing* label allowing them to locate in Heavy Commercial (HC), Light Industrial (LI) and Heavy Industrial (HI) Districts; however, these uses typically depend on the foot traffic generated by commercial-retail areas and would not fare well in the City's industrial districts. An example of this dilemma was recently addressed by the City Council with the text amendment incorporating the *Craft Brewery, Distillery and/or Winery* land use. Prior to the amendment, the code treated all breweries the same, and did not make a distinction between large industrial breweries and small-scale craft brewers. As a result, these uses were relegated to only being permitted in a Light Industrial (LI) or Heavy Industrial (HI) District, when in reality they operate more as a retail/restaurant type of business. By changing the code to allow this use by a Specific Use Permit (SUP), the City Council created discretionary flexibility that allows this land use into areas of the City that

could be better suited to the long-term viability of the business. This flexibility could be beneficial to other land use categories that have undergone fundamental changes in the way they operate. This can be achieved by not only reviewing the City's *Permissible Use Charts*, but also the design standards in the corridor to ensure there are no unreasonable barriers of entry for small businesses.

Another approach the City could take to support small businesses is the continued release of information pertaining to demographics and market analysis. Many small businesses and startups have limited capital to spend on expensive reports and demographic breakdowns of the City. Staff can support these businesses by making reports and studies (e.g. *2017 Existing Conditions Report and this report*) available online to the public. An example of this effort includes the *Retail Shopping Destinations* interactive map, which contains demographic information for the City and its shopping centers. This tool is intended to help small businesses looking to locate in the community.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: Staff estimates that a comprehensive look into the City's *Permissible Use Charts* and commercial design standards could take between 60 to 70-hours to prepare an ordinance making the necessary amendments. The ordinance would take eight (8) weeks for adoption.

With regard to making reports and demographic information online, this has become standard operating procedure for staff and unless directed otherwise staff will continue to make these items available.

STATUS: IN PROCESS | ONGOING

STRATEGY 10 RESIDENTIAL DENSITY BONUSES FOR PROJECTS THAT INCORPORATE A MIXTURE OF LAND USES

The City Council could choose to implement policies that would allow high-density residential land uses along IH-30 pending the project incorporate a mix of land uses (e.g. *hotel, restaurant, retail, entertainment, etc.*).

Through the public survey, many citizens indicated a want for higher end retailers and specialty grocers. These uses typically are attracted to areas with high intensity developments that incorporate a higher density residential component. The City Council could use the City's high demand for multi-family, to incentivize a developer proposing a regional mixed-use development along IH-30 by granting density bonuses. This would involve granting densities greater than the current 14 dwelling units per acre permitted in the City's Multi-Family 14 (MF-14) District. It should be noted that this type of strategy would depend on the residential units being integrated into the overall development (i.e. structured or block styled apartments above retail or office use, which is common in traditional mixed-use developments, would be more desirable under this strategy than garden style apartments – similar to the condominiums constructed at the Harbor). This strategy depends on the City's demand for multi-family remaining high, which may require other land use strategies moving forward (e.g. balancing the City's mix of housing units and limiting multi-family development to areas along the IH-30 corridor, away from other single-family neighborhoods, and from any other areas in the city). Under the City's current housing mix, this policy would only be viable if the multi-family percentage were decreased below an estimated 12%. Currently, this percentage is around 18%. By reducing the percentage and not approving subsequent projects, the City ensures that a high level of demand exists, and that this demand can be leveraged to attract the desired commercial/retail development. It should also be noted that this could be done under an ownership model as opposed to a rental model by using townhomes and/or condominiums.

Implementation Responsibility: PZD, M, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: This policy change would have implications on the policies contained in this Comprehensive Plan. The implementation of this strategy would require staff to review the procedures and design standards in the Unified Development Code to ensure compatibility with the intended objective. Staff estimates this could take between 50 to 60-hours to complete, and would need to be adopted in accordance with the procedures contained in the Unified

Development Code (i.e. approximately eight [8] weeks). In addition, since this policy is driven by the demand of multi-family, its implementation would depend on the current multi-family percentage being decreased to a level that can be leveraged for the desired commercial/retail development.

STATUS: **IN PROCESS** | ONGOING

STRATEGY 11 WORK WITH THE REDC AND CHAMBER OF COMMERCE TO COORDINATE BUSINESS RECRUITMENT AND RETENTION EFFORTS ●●●

Intergovernmental cooperation between the City, Rockwall Economic Development Corporation (REDC) and the Chamber Commerce to create a Community Business Retention and Recruitment Program may be advantageous to retaining the businesses we have while targeting a regional commercial retail user. In addition, this cooperation ensures that all agencies are aware of the strategies and efforts of other agencies.

Implementation Responsibility: M

Anticipated Cost(s): This strategy is not anticipated to have any additional costs to any of the agencies listed above.

Estimated Implementation Time: Since this strategy requires coordination between a government, a quasi-government and a private service organization it is difficult to establish a implementation timeline.

STATUS: ONGOING

STRATEGY 12 WORK WITH TXDOT ●●●

Work with the Texas Department of Transportation (TxDOT) to improve circulation and connectivity in the corridor, and to regulate traffic patterns and speed limits. This could also include plans for improved multi-modal mobility and pedestrian access in the corridor.

Implementation Responsibility: E & M

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and will not require the assistance of outside consultants.

Estimated Implementation Time: The City currently works closely with TxDOT, and is in the process of planning the IH-30 corridor for the proposed IH-30 improvements scheduled for 2021.

STATUS: ONGOING

OFFENSIVE STRATEGIES

STRATEGY 1 SMALL AREA PLANS ●

Using the strategically located properties depicted in *Figure 1: Plan Framework*, staff could create small area plans for each of the properties using the findings from the benchmark analysis of this document. By providing small area plans for each of these properties, the City would better convey to the development community the desired outcome for each of these areas. This could help to facilitate a regional development.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: The time frame for the completion of the small area plans will vary. Staff estimates that each plan could be completed in approximately one (1) week to one (1) month depending on the scope and detail of the small area plan.

STATUS: **IN PROCESS**

STRATEGY 2 DEMOLITION PERMIT FEE WAIVER ●

A program creating an administrative waiver of demolition fees could be implemented to assist property owners along IH-30 interested in redeveloping an existing property. While this will not have a major or immediate impact on corridor redevelopment, it is a program that can be implemented easily and can be administered at the staff level (i.e. as opposed to discretionary oversight of the City Council or other boards or commissions).

Implementation Responsibility: BI & CC

Anticipated Cost(s): The implementation of this program is not anticipated to have a significant effect on the city's revenues, nor will it be costly to implement. For example, a demolition permit application costs \$50.00, and of the 18 demolition permits issued in 2016, six (6) were in the IH-30 corridor. This would represent a total cost to the City of \$300.00 for a one-year period.

Estimated Implementation Time: It is estimated that this program could be implemented with five (5) to ten (10) hours staff time to research and prepare an ordinance or resolution outlining the process that can be taken to the

City Council for approval. This ordinance can be approved by the City Council without being subject to the requirements of the Unified Development Code (i.e. approximately four [4] weeks for adoption).

STATUS: ONGOING

STRATEGY 3 EXISTING BUILDING CODE ●

Property owners in the IH-30 corridor interested in redevelopment could be allowed to use the 2015 International Existing Building Code, which is generally less restrictive than the 2015 International Building Code (IBC) and 2015 International Fire Code (IFC). The 2015 International Existing Building Code is a code that is intended to provide model regulation for existing buildings and is generally less prohibitive than the City's other codes. Currently, the City only utilizes this code in certain circumstances; however, this use could be expanded to ease regulations on existing rehabilitation work. Implementing this strategy would also help to address one (1) of the comments that was expressed at the stakeholder meeting, and which stated that "(e)xisting and older buildings need to grandfathered from any retroactive zoning/building requirements that may be added." While the City does not retroactively apply zoning requirements, new work on existing buildings is typically subject to the building code that is in place at the time of the permit. In this case, it would ease requirements and allow for a code that is expressly intended to regulate existing buildings.

Implementation Responsibility: BI & FM

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change can be implemented at an administrative level by changing the City's policy and defining when the 2015 International Existing Building Code can be used.

STATUS: ONGOING

STRATEGY 4 CIP PROJECTS ●●

Capital Improvement Projects (CIP) scheduled for the study area and intended to support

existing businesses could be approached with a higher priority than other projects. Currently, there are no anticipated projects intended for the study area; however, this strategy could be used when projects are identified in the future.

Implementation Responsibility: E, M & CC

Anticipated Cost(s): This strategy is not anticipated to have any additional costs associated with it since it deals with the future prioritization of projects on the CIP.

Estimated Implementation Time: This strategy is not anticipated to require a great deal of staff time to implement; however, it would require the foresight and consideration of staff when planning the CIP in the future.

STATUS: ONGOING

STRATEGY 5 CITY INITIATED ZONING OF THE CORRIDOR ●

To avoid undesired and unplanned land uses in the corridor the City Council could consider a City initiated action rezoning all property in the corridor to a Commercial (C) District designation. This strategy would ensure that the corridor develops in accordance with the uses permitted in the targeted zoning district; however, this would need to be carefully evaluated and vetted by the City Attorney to avoid any legal hurdles associated with this method. As an alternative strategy, the City could offer the change in zoning classification to property owners on a mass and voluntary basis. This strategy would allow many of the Agricultural (AG) properties within the district the ability to secure Commercial (C) District zoning without having to pay the fees for initiating a zoning case. In addition, this would allow people to market their properties as commercial property.

While the voluntary method is the most desirable, it does not ensure 100% participation from property owners in the corridor. This method could also have the negative effect of entitling property for Commercial (C) District land uses, while not incentivizing a regional mixed-use center. To prevent this, the City Council could consider establishing a new zoning district or planned development district that would have the effect of limiting certain land uses. Under this method, if any residential component was incorporated into the zoning it could fall under upzoning (i.e. allowing a greater range of land uses), which could make the request more difficult to challenge. Staff should note that any City initiated zoning request should be

approached under the advisement of the City Attorney.

Implementation Responsibility: CA, M, PZD, PZC & CC

Anticipated Cost(s): All the anticipated costs for this strategy will vary depending on the involvement of the City Attorney.

Estimated Implementation Time: The implementation time of this strategy will depend on the approach of the City Council.

STATUS: INCOMPLETE

4 IMPLEMENTATION PLAN

Perhaps the most important thing to point out is that markets are not static, and have a substantial potential to change. This is especially true with regard to commercial/retail development trends. It will be necessary to update the information in this study on a regular basis and to make sure that the direction of this study is still in-line with the community's vision. This is specifically important with regard to the market analysis contained in the *IH-30 Corridor Plan*.

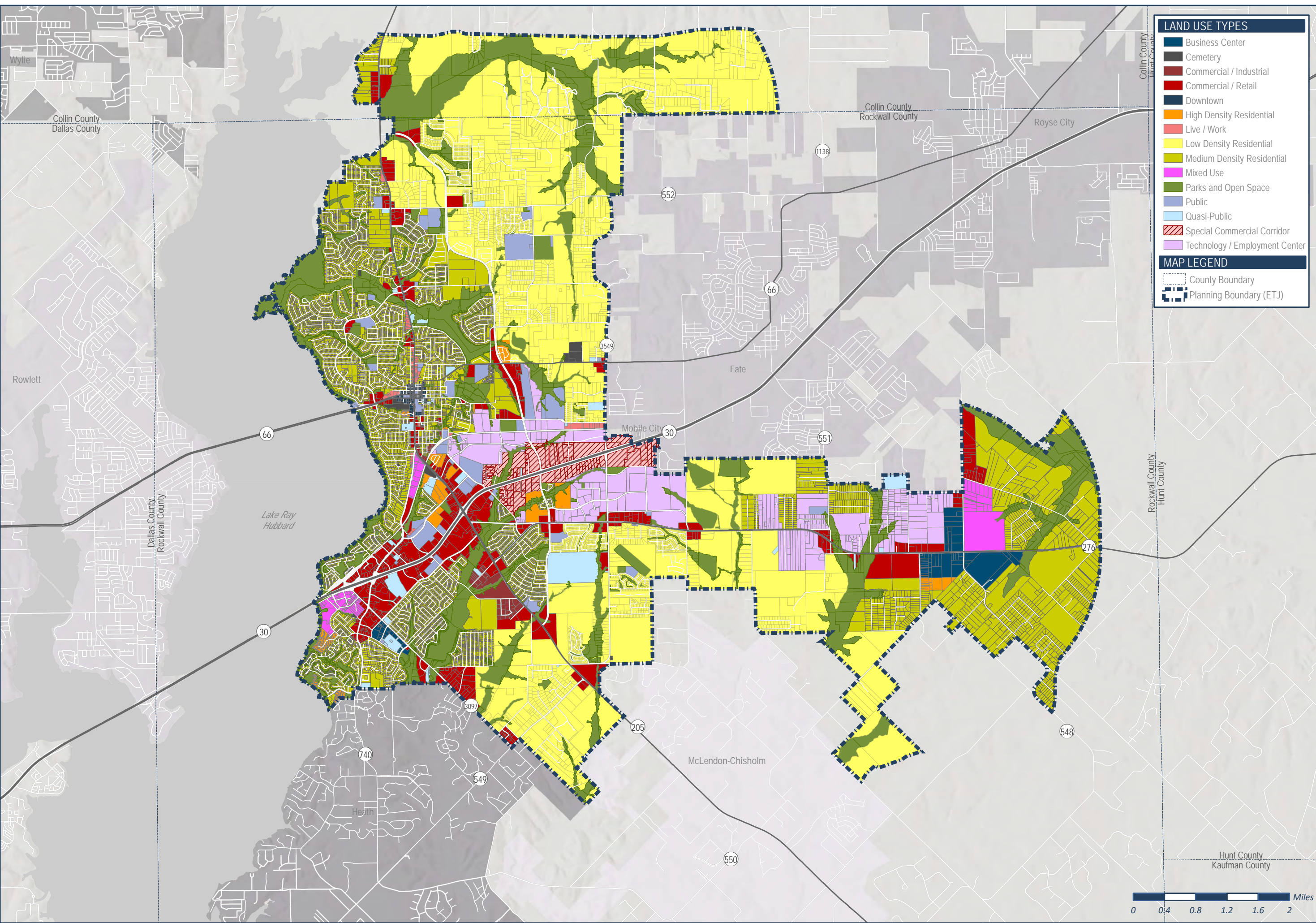
Finally, when making future decisions in the corridor all parties will need to make sure that development requests, policy decisions, discretionary approvals and any other action affecting the study area are looked at in a global sense. Taking a district wide approach to how the corridor develops in the future will ensure that the community is developing in accordance to its vision and not letting individual developments dictate the community's appearance. This will be especially important for staff to relay to applicants looking to develop and/or establish themselves in the IH-30 corridor.



FUTURE LAND USE PLAN

COMPREHENSIVE PLAN 01 | LAND USE & GROWTH MANAGEMENT

1

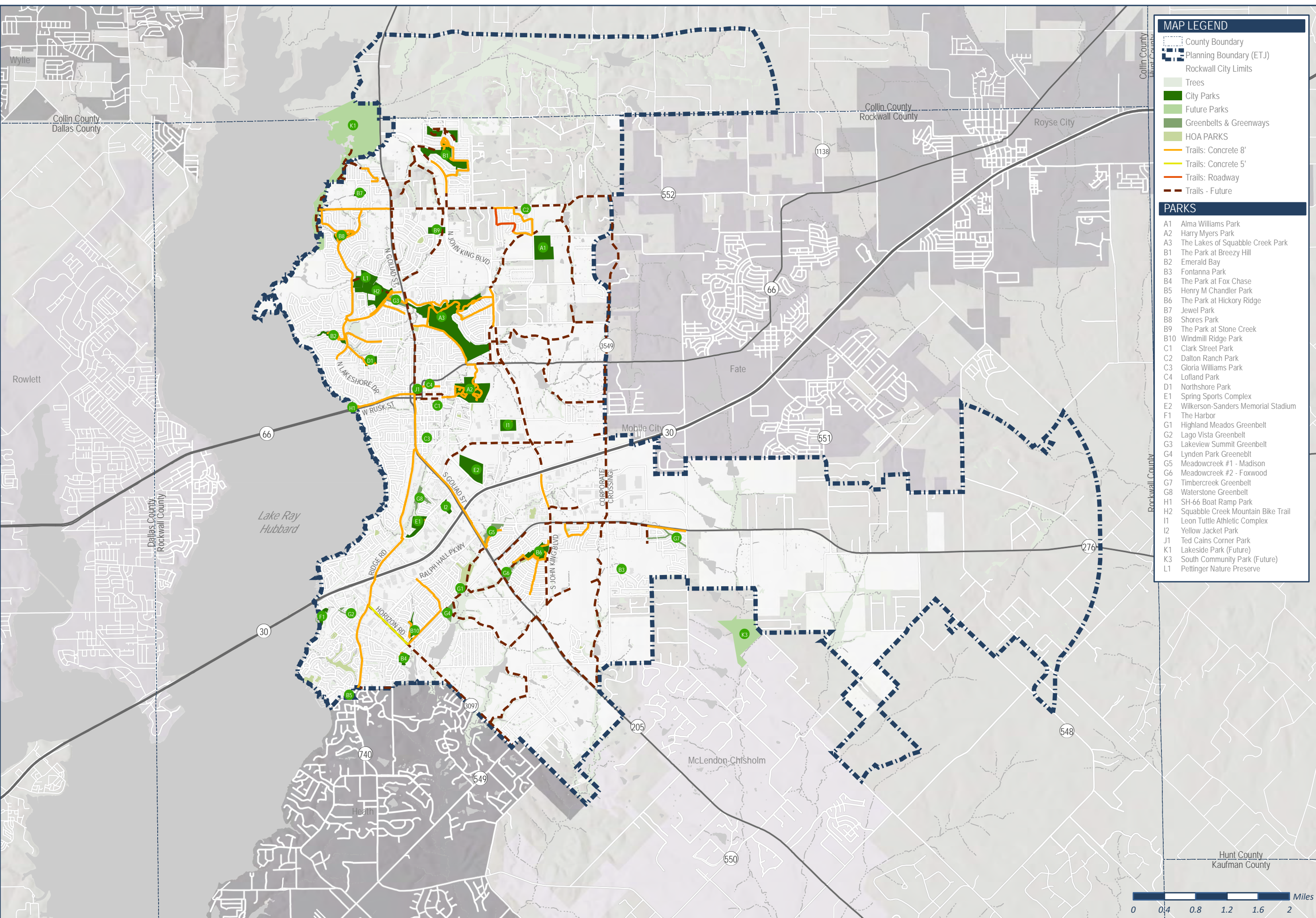




MASTER TRAIL PLAN

COMPREHENSIVE PLAN 03 | PARKS, OPEN SPACE AND TRAILS

2



MAP LEGEND

- County Boundary
- Planning Boundary (ETJ)
- Rockwall City Limits
- Trees
- City Parks
- Future Parks
- Greenbelts & Greenways
- HOA PARKS
- Trails: Concrete 8'
- Trails: Concrete 5'
- Trails: Roadway
- Trails - Future

PARKS

- A1 Alma Williams Park
- A2 Harry Myers Park
- A3 The Lakes of Squabble Creek Park
- B1 The Park at Breezy Hill
- B2 Emerald Bay
- B3 Fontanna Park
- B4 The Park at Fox Chase
- B5 Henry M Chandler Park
- B6 The Park at Hickory Ridge
- B7 Jewel Park
- B8 Shores Park
- B9 The Park at Stone Creek
- B10 Windmill Ridge Park
- C1 Clark Street Park
- C2 Dalton Ranch Park
- C3 Gloria Williams Park
- C4 Lofland Park
- D1 Northshore Park
- E1 Spring Sports Complex
- E2 Wilkerson-Sanders Memorial Stadium
- F1 The Harbor
- G1 Highland Meadows Greenbelt
- G2 Lago Vista Greenbelt
- G3 Lakeview Summit Greenbelt
- G4 Lynden Park Greenbelt
- G5 Meadowcreek #1 - Madison
- G6 Meadowcreek #2 - Foxwood
- G7 Timbercreek Greenbelt
- G8 Waterstone Greenbelt
- H1 SH-66 Boat Ramp Park
- H2 Squabble Creek Mountain Bike Trail
- I1 Leon Tuttle Athletic Complex
- I2 Yellow Jacket Park
- J1 Ted Cains Corner Park
- K1 Lakeside Park (Future)
- K3 South Community Park (Future)
- L1 Pettinger Nature Preserve

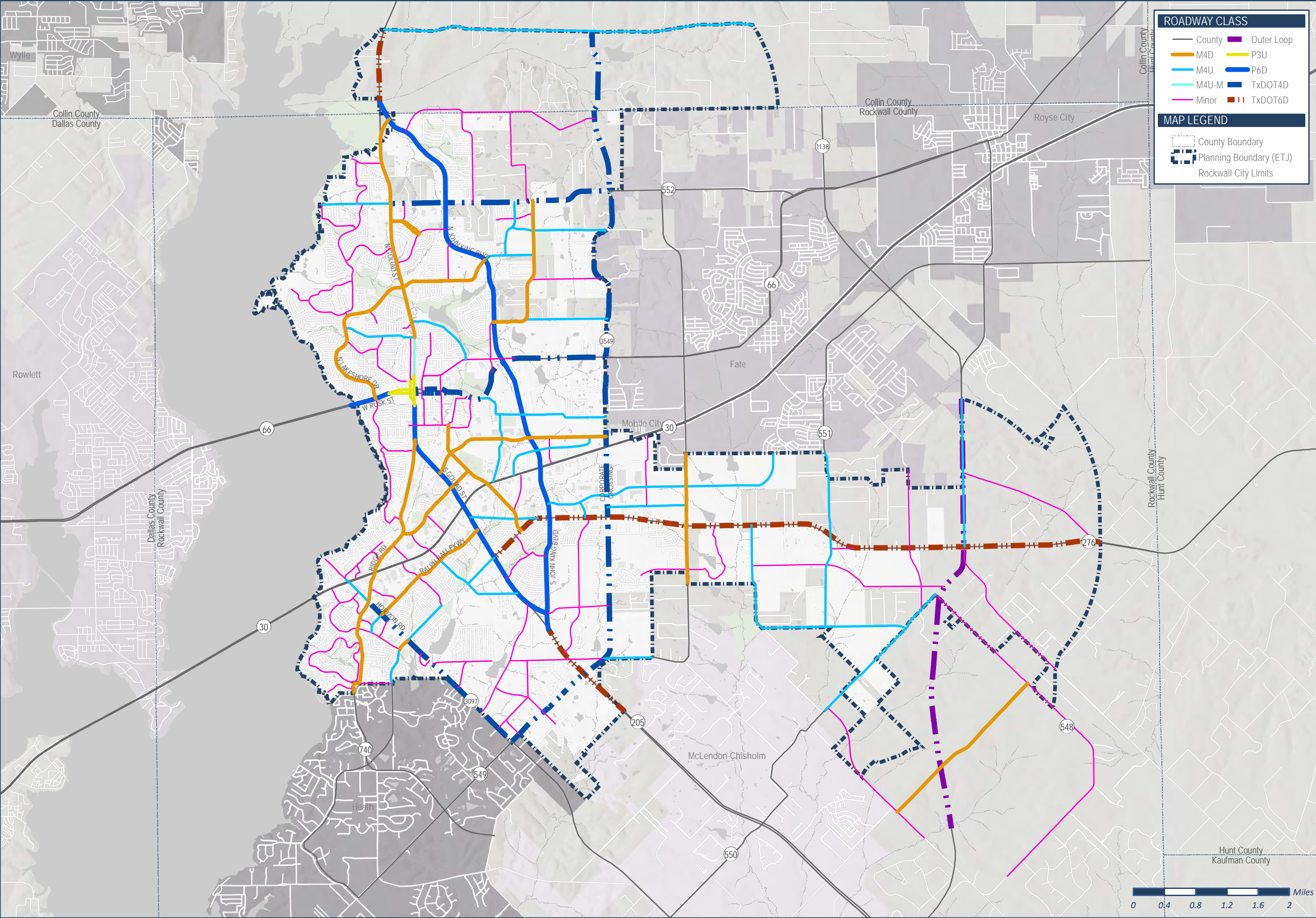




MASTER THOROUGHFARE PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

3

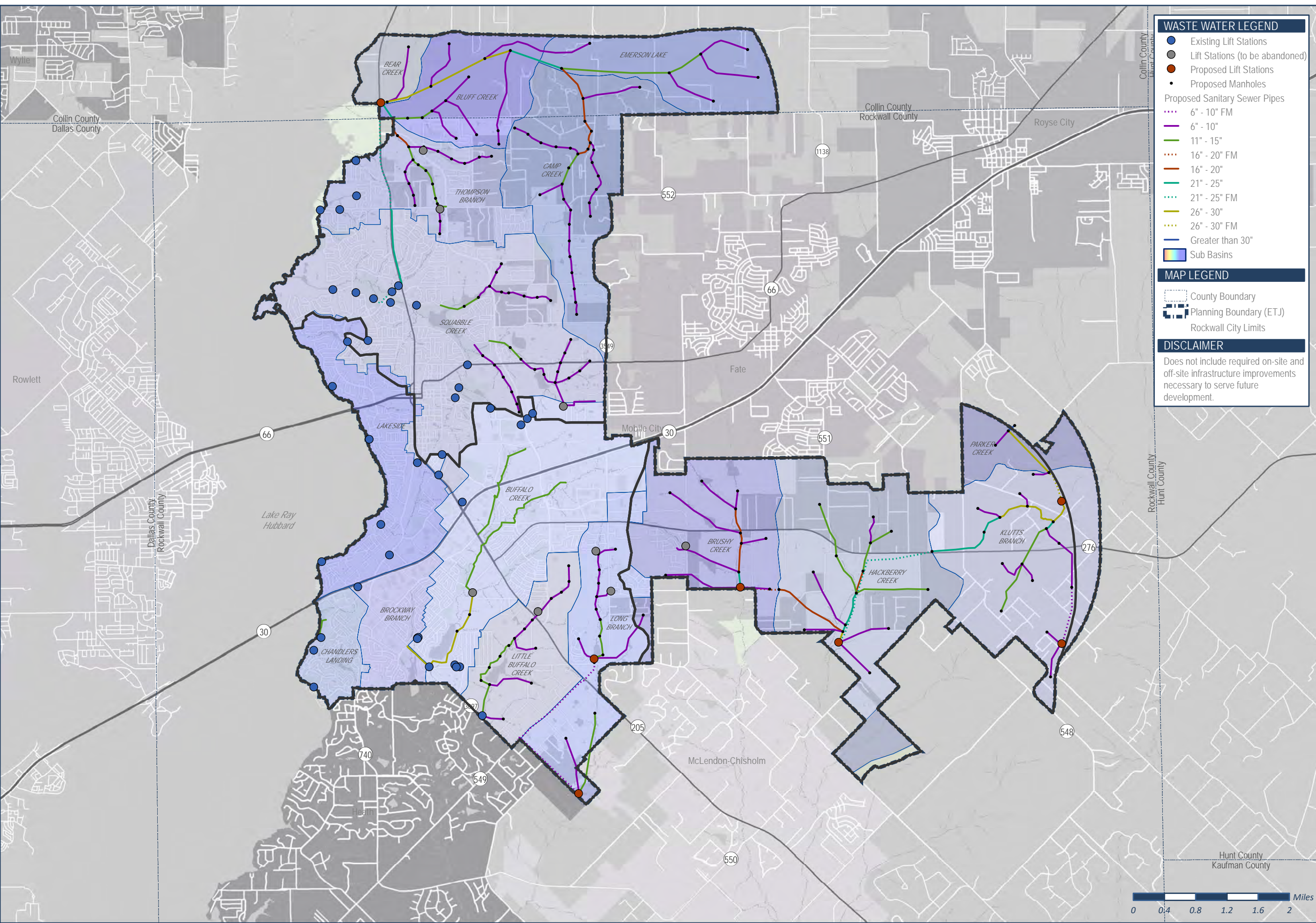




MASTER WASTE WATER PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

4

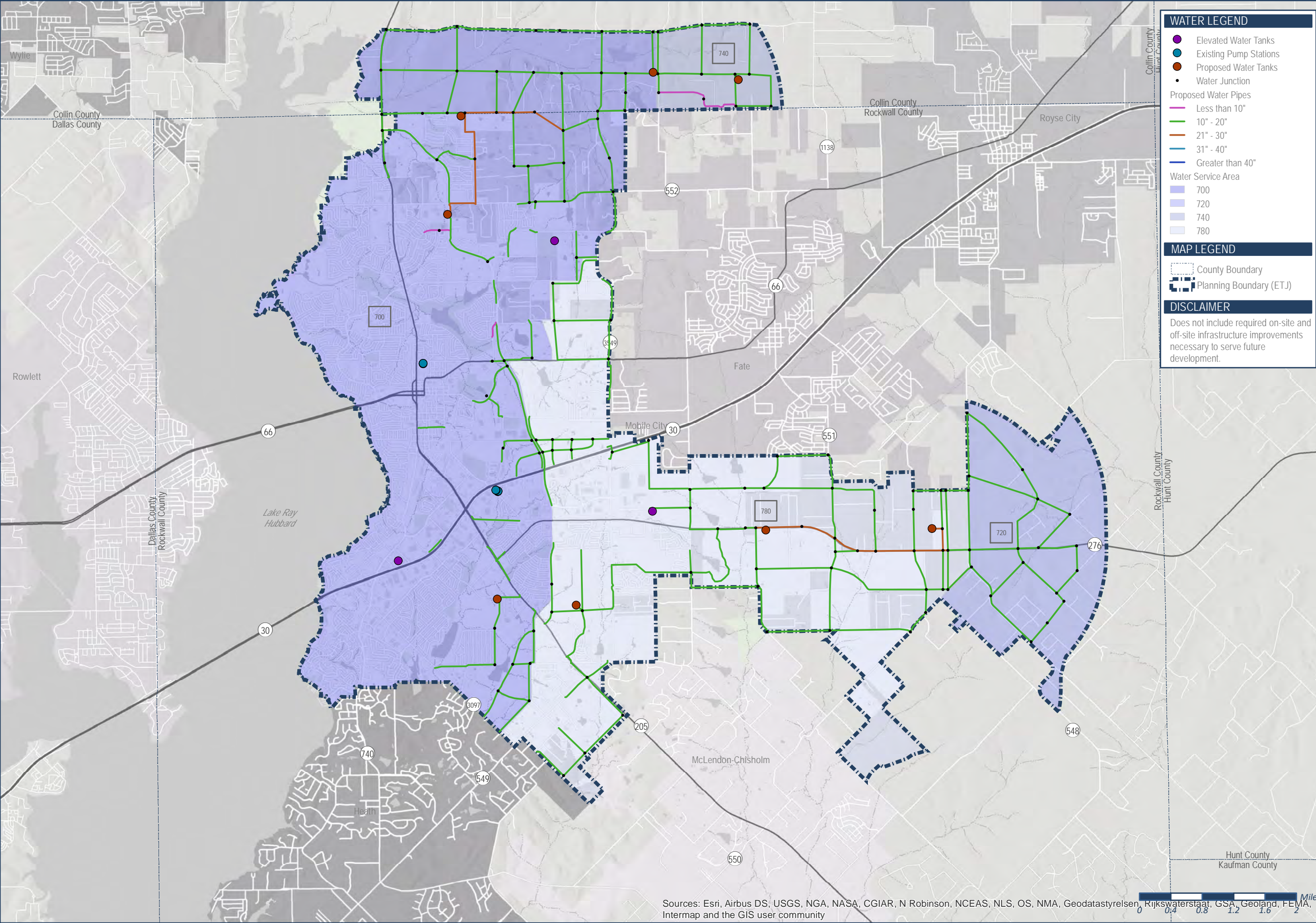




MASTER WATER PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

5



WATER LEGEND

- Elevated Water Tanks
- Existing Pump Stations
- Proposed Water Tanks
- Water Junction

Proposed Water Pipes

- Less than 10"
- 10" - 20"
- 21" - 30"
- 31" - 40"
- Greater than 40"

Water Service Area

- 700
- 720
- 740
- 780

MAP LEGEND

- County Boundary
- Planning Boundary (ETJ)

DISCLAIMER

Does not include required on-site and off-site infrastructure improvements necessary to serve future development.

Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

0 0.4 0.8 1.2 1.6 2 Miles

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN IN ACCORDANCE WITH THE CITY'S HOME RULE CHARTER.

WHEREAS, the *Home Rule Charter* of the City of Rockwall, Texas, states that the Comprehensive Plan will contain recommendations for the growth, development and beautification of the City and its Extraterritorial Jurisdiction (ETJ); and

WHEREAS, the City Council of the City of Rockwall adopted the *OURHometown Vision 2040 Comprehensive Plan* on December 3, 2018 by *Ordinance No. 18-48* after holding the required public meetings as stipulated by Section 213.003, *Adoption or Amendment of Comprehensive Plan*, of Chapter 213, *Municipal Comprehensive Plans*, of the *Texas Local Government Code*; and

WHEREAS, the citizens of the City of Rockwall were involved in the development of the *OURHometown Vision 2040 Comprehensive Plan* through participation in a citizen action committee (*i.e. the Comprehensive Plan Advisory Committee [CPAC]*) and public meetings; and

WHEREAS, the City Council of the City of Rockwall realizes that the *OURHometown Vision 2040 Comprehensive Plan* is intended to be a *living document* that requires annual updates to account for changes in the community resulting from growth; and

WHEREAS, the *OURHometown Vision 2040 Comprehensive Plan* serves as a guide to all future City Council action concerning land use and development regulations, and expenditures for capital improvements; and

WHEREAS, Section 213.003, *Adoption or Amendment of Comprehensive Plan*, of Chapter 213, *Municipal Comprehensive Plans*, of the *Texas Local Government Code* states that the adoption of or amendment to a Comprehensive Plan requires a hearing at which the public is given the opportunity to give testimony and present written evidence, and as required by the *Home Rule Charter of the City of Rockwall* a public hearing has been held on the proposed revisions to the Comprehensive Plan, and the governing body -- *in the exercise of its legislative discretion* -- has concluded that the Comprehensive Plan should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. The *OURHometown Vision 2040 Comprehensive Plan* as approved is hereby amended in accordance with *Exhibit 'A'* of this ordinance, and the resulting document shall be the Comprehensive Plan for the City of Rockwall;

Section 2. The *OURHometown Vision 2040 Comprehensive Plan* shall be used by City Staff in planning and as a guide for future development of the City of Rockwall; and,

Section 3. This ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2021.

Kevin Fowler, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

DRAFT
ORDINANCE
05.25.2021

DRAFT
ORDINANCE
05.25.2021

Exhibit 'A'
2019/2020 Updates to the
OURHometown Vision 2040 Comprehensive Plan

● **COMMERCIAL/RETAIL (CR)**

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 *Secondary Land Uses:* Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 *Zoning Districts:* Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● **COMMERCIAL/INDUSTRIAL (CI)**

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 *Secondary Land Uses:* Warehouse and Outside Storage
- 3 *Zoning Districts:* Heavy Commercial (HC) District and Heavy Industrial (HI) District

EXISTING LAND USE EXAMPLES

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● **BUSINESS CENTERS (BC)**

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (e.g. *restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 *Secondary Land Uses:* Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 *Zoning Districts:* Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Trend Tower

TECHNOLOGY/EMPLOYMENT CENTERS (TEC)

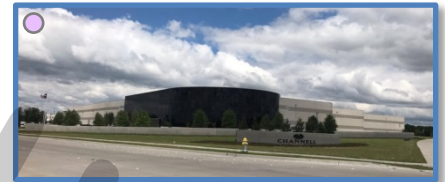
The *Technology/Employment Centers* land use category is characterized by employment-oriented businesses, which are generally situated in larger centers (e.g. *Rockwall Technology Park*) with access to key transportation networks. These uses should utilize large setbacks, campus style green spaces and large berms/buffers to shrink the scale of the buildings and provide park-like amenities that are complementary to the City's other land use districts. Generally, these areas should not be directly adjacent to Low or Medium Density Residential land use designations and should be buffered from low-density single-family subdivisions utilizing transitional land uses.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Clean Manufacturing Centers, Technology/Data Centers, Research and Design/Development Businesses, General Office Land Uses, Flexible Space (i.e. Office/Warehouse Combinations Land Uses), and Light Assembly Businesses
- 2 Secondary Land Uses: Parks, Open Space, Civic/Institutional and Certain Complementary Commercial Land Uses (e.g. Office/Showroom)
- 3 Zoning Districts: Light Industrial (LI) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Rockwall Technology Park
- 2 Channell Commercial Corporation



SPECIAL DISTRICTS

LIVE/WORK (LW)

The *Live/Work* land use designation is characterized by the reuse of single-family properties as low-intensity office or retail land uses. These areas are considered to be transitional and require added flexibility for the purpose of maintaining a specific small town aesthetic along major roadways. These areas are used to buffer residential areas from major roadways or more intense commercial land uses. This designation also allows live/work arrangements where a single-family structure may continue to serve as residence, while also supporting a low-intensity office or retail store.

DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Professional Offices, Boutiques, Art/Music Studios, and Antique and Collectable Shops.
- 2 Secondary Land Uses: Banquet Facilities, Small Restaurants, Veterinarian Clinics for Small Animals, and Open Space
- 3 Zoning Districts: Residential-Office (RO) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 N. Goliad Street Between East Fork Road and the Downtown
- 2 West Side of Ridge Road after the SH-205/Ridge Road Split
- 3 N. Goliad Street Across from the YMCA



MIXED-USE (MU)

The *Mixed-Use* land use designation is characterized by mixed-use developments that typically offer a mix of housing types and residential densities with integrated retail, personal services and/or office. These areas can be both vertically and horizontally integrated with a mix of land uses, and are generally designed as walkable/pedestrian friendly developments. The residential component can include single-family homes, townhouses, condominiums, urban housing, lofts, or multi-family. Vertically integrated mixed-use developments typically incorporate structured parking at the center of the block, recreational and pedestrian amenities and have ground floor commercial/retail, office or personal services.

DESIGNATION CHARACTERISTICS

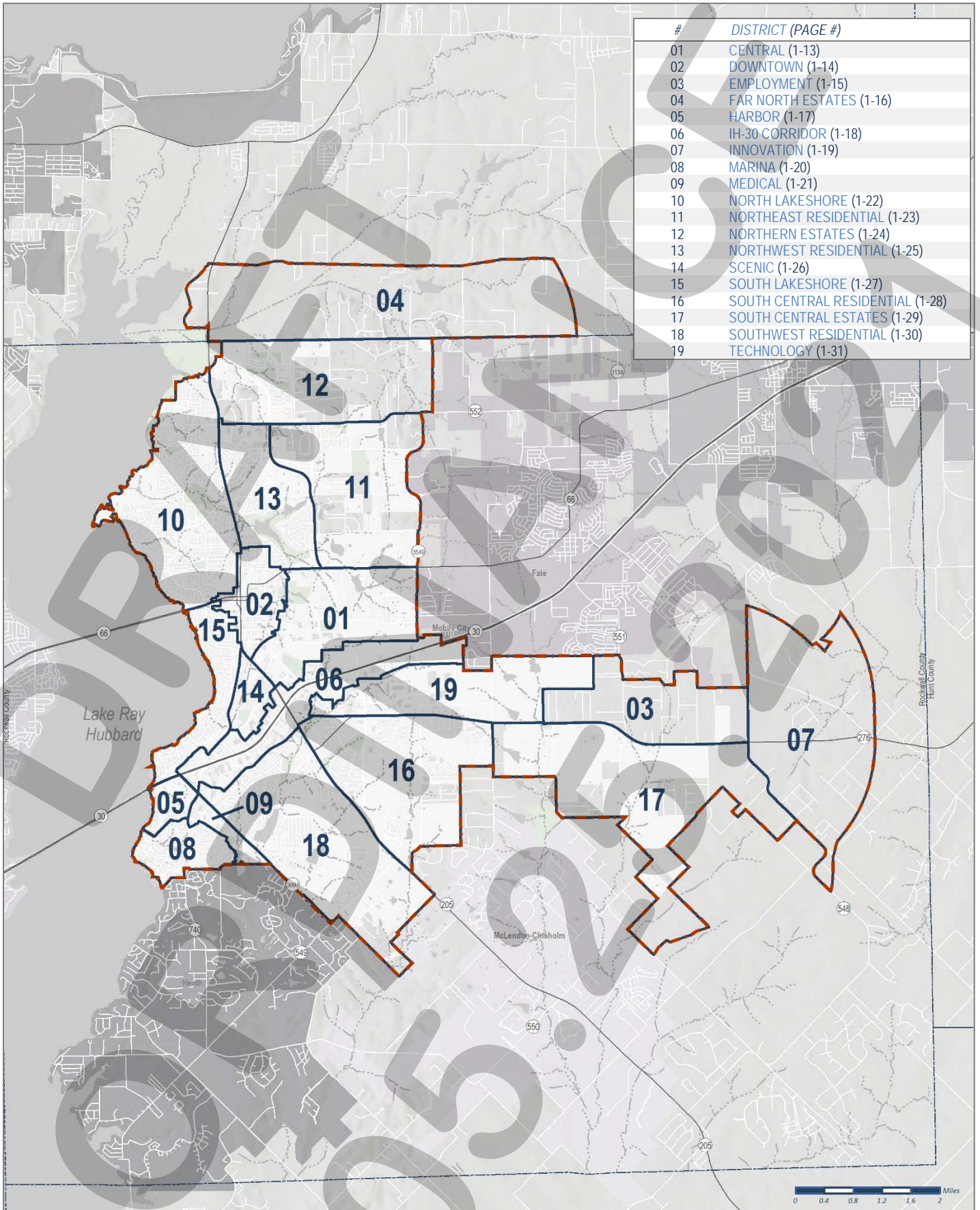
- 1 Primary Land Uses: Retail, Office, Restaurant and Residential Land Uses
- 2 Secondary Land Uses: Parks, Open Space, Trails, and Institutional/Civic Land Uses
- 3 Zoning Districts: Downtown (DT) District and Planned Development (PD) Districts

EXISTING LAND USE EXAMPLES

- 1 Rockwall Commons
- 2 Harbor District

DOWNTOWN (DT)

00 OVERVIEW MAP



01 CENTRAL DISTRICT

DISTRICT STRATEGIES

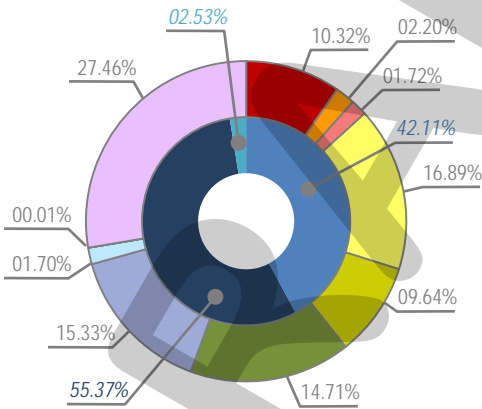
DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

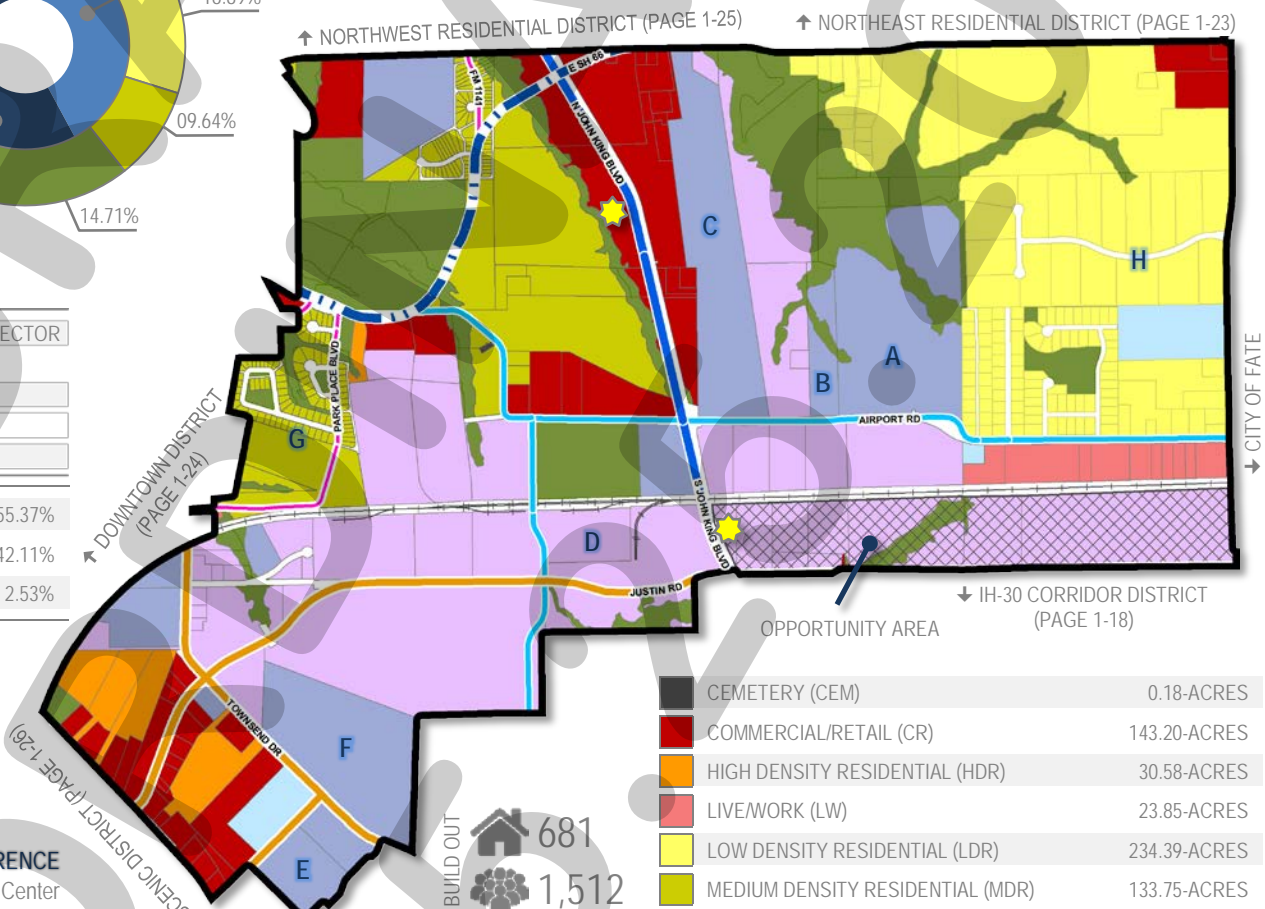
★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



Line Style	Category	Percentage
Thin solid line	MINOR COLLECTOR	
Thick solid line	M4U	
Thick dashed line	M4D	
Thick solid line	P6D	
Thick solid line	TXDOT 4D	
Dark blue square	COMMERCIAL	55.37%
Light blue square	RESIDENTIAL	42.11%
Light green square	MIXED USE	2.53%



POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

CURRENT
 HOUSES: 220
 BUILDINGS: 71
 TREES: 488

BUILD OUT
 HOUSES: 681
 BUILDINGS: 1,512
 TREES: 488

% OF ROCKWALL
 HOUSES: 1.10%
 BUILDINGS: 3.91%
 TREES: 0.82%

Land Use Category	Acres
CEMETERY (CEM)	0.18-ACRES
COMMERCIAL/RETAIL (CR)	143.20-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
LIVE/WORK (LW)	23.85-ACRES
LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
PARKS AND OPEN SPACE (OS)	204.05-ACRES
PUBLIC (P)	212.77-ACRES
QUASI-PUBLIC (QP)	23.65-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

02 DOWNTOWN DISTRICT

DISTRICT DESCRIPTION

The *Downtown District* is the cultural heart of the community and embodies the small town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. This district also includes the City's Old Town Rockwall (OTR) Historic District, which is composed of housing that dates back to the late 1800's. The *North Goliad Corridor* -- also identified by its zoning classification (i.e. PD-50) -- is a unique *Live/Work* corridor that supports a range of small boutiques (with a SUP) and offices, and represents a successful adaptive reuse effort by the City. In the future, the City will need to balance the attractiveness of redevelopment in the Downtown area with the small town atmosphere that makes Rockwall unique to its residents.

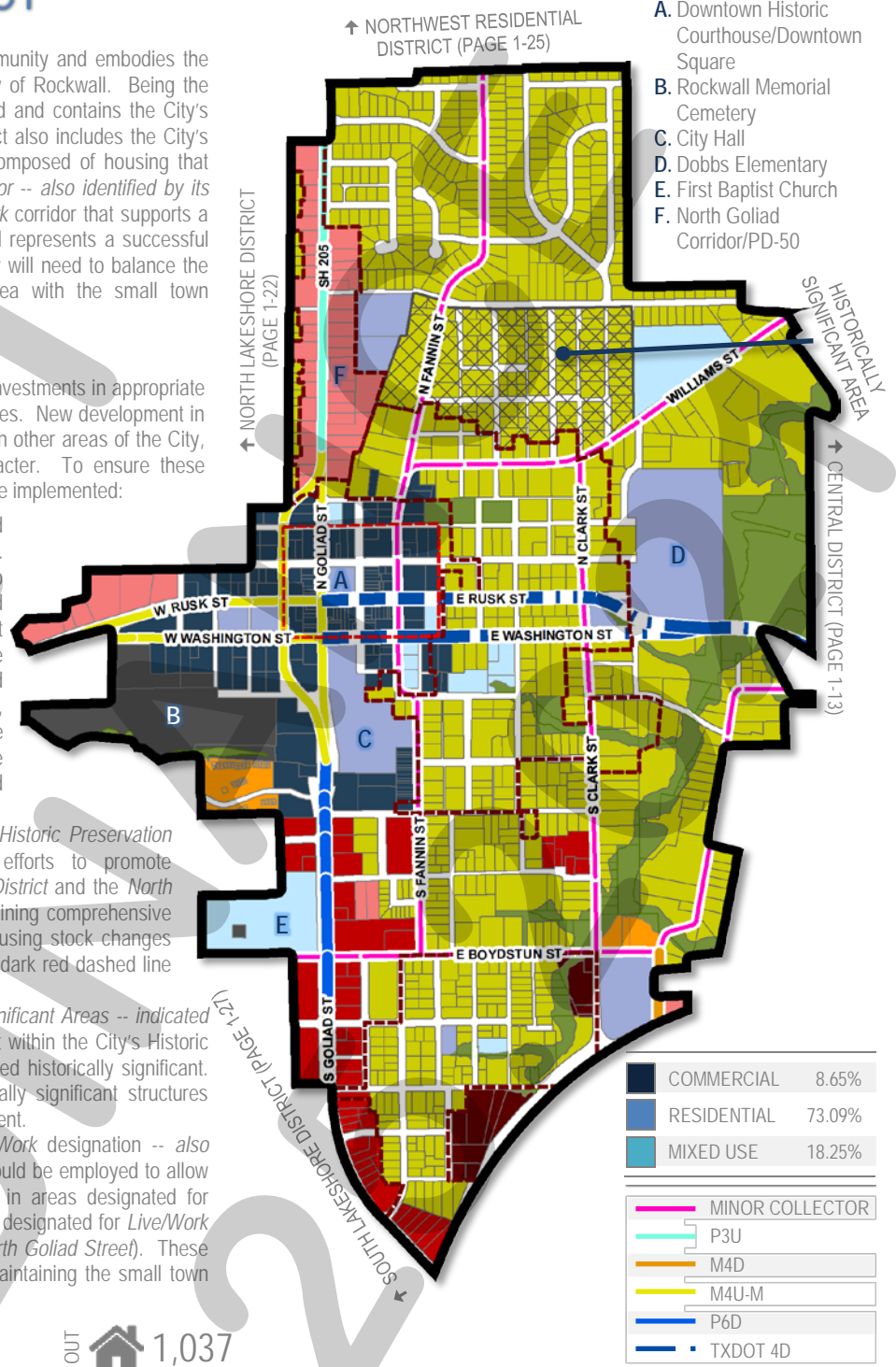
DISTRICT STRATEGIES

The *Downtown District* will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small-town character. To ensure these objectives are achieved, the following strategies should be implemented:

- 1 Downtown Square.** The *Downtown Square* should be preserved as a historical mixed-use area. Adaptive reuse strategies should be employed to protect and preserve the historic architecture and significance in the district, and redevelopment should be discouraged. In cases where redevelopment is appropriate, architecture and design standards that take into account the form, function and time-period of the existing of the downtown square should be implemented. The downtown square is indicated by the red dashed line (---).
- 2 Historic District and North Goliad Corridor.** The *Historic Preservation Advisory Board (HPAB)* should continue its efforts to promote preservation and appropriate infill in the *Historic District* and the *North Goliad Corridor* (i.e. PD-50). This includes maintaining comprehensive and accurate records of how this area and its housing stock changes over time. The Historic District is indicated by the dark red dashed line on the district map (---).
- 3 Historically Significant Areas.** The *Historically Significant Areas* -- indicated in the crosshatched area --- are areas that are not within the City's Historic District, but contain housing stock that is considered historically significant. This area should look to preserve these historically significant structures while continuing to allow appropriate infill development.
- 4 Live/Work.** The flexibility provided by the *Live/Work* designation -- also allowed in the *Downtown (DT)* zoning district -- should be employed to allow for adaptive reuse of the existing housing stock in areas designated for *Downtown (DT)* District land uses and in the areas designated for *Live/Work* land uses (i.e. adjacent to *W. Rusk Street* and *North Goliad Street*). These districts are important to allowing change while maintaining the small town atmosphere of the Downtown area.

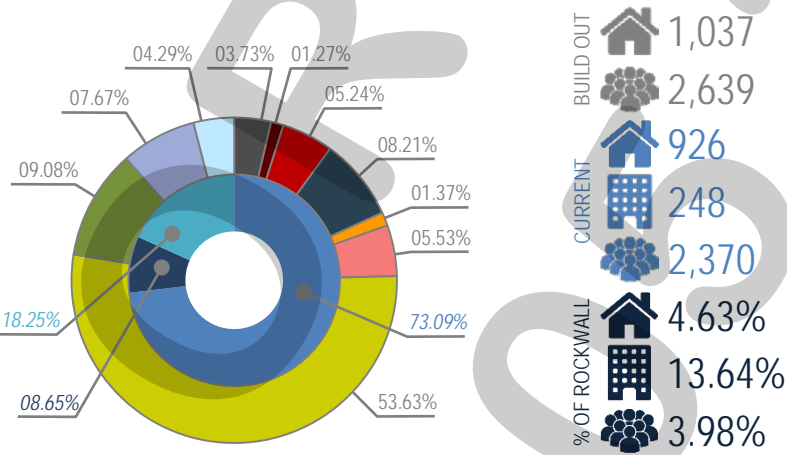
POINTS OF REFERENCE

- A. Downtown Historic Courthouse/Downtown Square
- B. Rockwall Memorial Cemetery
- C. City Hall
- D. Dobbs Elementary
- E. First Baptist Church
- F. North Goliad Corridor/PD-50



COMMERCIAL	8.65%
RESIDENTIAL	73.09%
MIXED USE	18.25%

MINOR COLLECTOR	
P3U	
M4D	
M4U-M	
P6D	
TXDOT 4D	



CEMETERY (CEM)	17.11-ACRES
COMMERCIAL/INDUSTRIAL (CI)	5.82-ACRES
COMMERCIAL/RETAIL (CR)	24.06-ACRES
DOWNTOWN (DT)	37.67-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	6.27-ACRES
LIVE/WORK (LW)	25.38-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	246.20-ACRES
PARKS AND OPEN SPACE (OS)	41.69-ACRES
PUBLIC (P)	35.21-ACRES
QUASI-PUBLIC (QP)	19.70-ACRES

05 HARBOR DISTRICT

DISTRICT DESCRIPTION

Being an entry portal into the City of Rockwall, the *Harbor District* is intended to provide a pedestrian oriented, mixed-use district that accommodates residential, non-residential, and public spaces. This district is characterized by the live, work and play environment that will be provided through professional offices, scenic condominiums, and an abundance of shopping, restaurants, entertainment, and recreational opportunities. The Harbor District is intended to act as a regional commercial center that offers a unique alternative to the small town, local shopping options provided in the City's *Downtown Square*.

POINTS OF REFERENCE

- A. Harbor Fountain
- B. Hilton Hotel & Resort
- C. Trend Tower
- D. Lago Vista Subdivision
- E. Signal Ridge Condominiums

LAND USE PALETTES

- Current Land Use
- Future Land Use

- ★ Entry Portals/Monumentation for the Harbor District
- Pocket Parks and Pedestrian Features

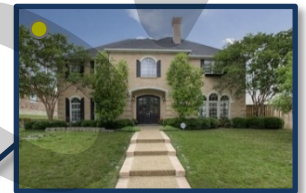


1 Trend Tower Office Building

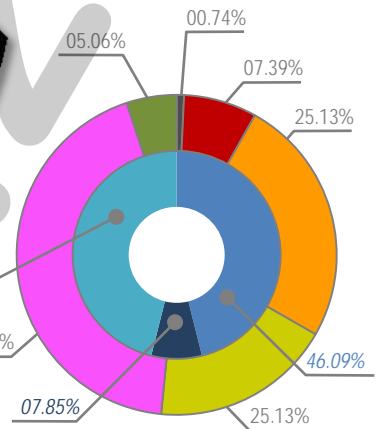
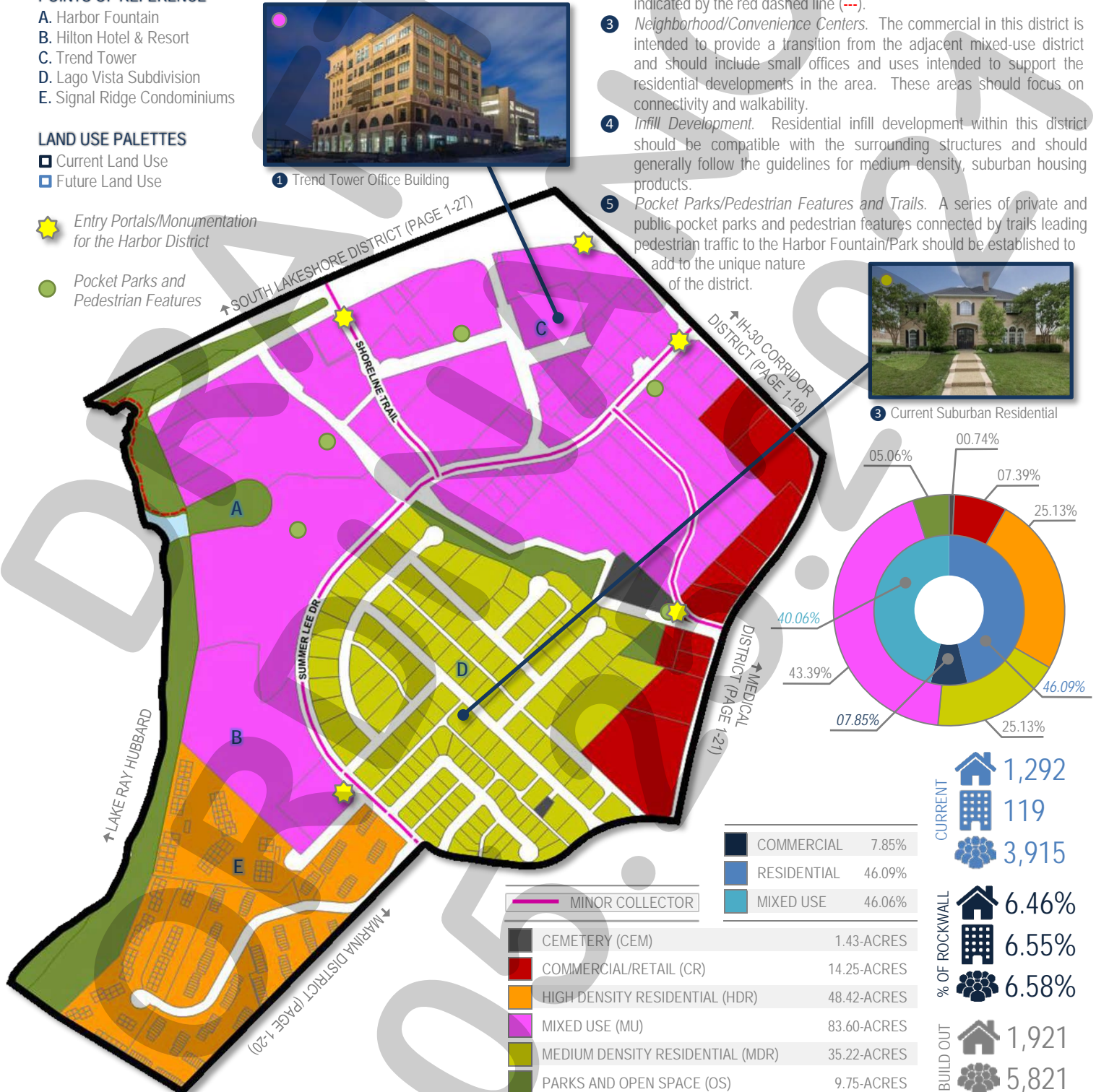
DISTRICT STRATEGIES

With the majority of the urban residential and townhome units being entitled and much of the vacant land planned in accordance with the regulating Planned Development District ordinance, the Harbor District's vision is starting to be realized. To continue to support the growth experienced over the last few years the following strategies should be implemented:

- 1 **Mixed Use.** The areas identified as mixed-use on the district map should generally be developed in accordance with the concept plan contained in Planned Development District 32 (PD-32), and be targeted at providing a pedestrian friendly, walkable, mixed-use district.
- 2 **Lake Access.** The City should continue to explore opportunities for public access to the waterfront for the creation of public parks, passive greenway spaces, and trails. This is specifically important in the areas indicated by the red dashed line (---).
- 3 **Neighborhood/Convenience Centers.** The commercial in this district is intended to provide a transition from the adjacent mixed-use district and should include small offices and uses intended to support the residential developments in the area. These areas should focus on connectivity and walkability.
- 4 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for medium density, suburban housing products.
- 5 **Pocket Parks/Pedestrian Features and Trails.** A series of private and public pocket parks and pedestrian features connected by trails leading pedestrian traffic to the Harbor Fountain/Park should be established to add to the unique nature of the district.



3 Current Suburban Residential



COMMERCIAL	7.85%
RESIDENTIAL	46.09%
MIXED USE	46.06%

MINOR COLLECTOR	
CEMETERY (CEM)	1.43-ACRES
COMMERCIAL/RETAIL (CR)	14.25-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	48.42-ACRES
MIXED USE (MU)	83.60-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	35.22-ACRES
PARKS AND OPEN SPACE (OS)	9.75-ACRES

CURRENT	House Icon	1,292
	Apartment Icon	119
% OF ROCKWALL	House Icon	6.46%
	Apartment Icon	6.55%
	Flower Icon	6.58%
BUILD OUT	House Icon	1,921
	Flower Icon	5,821

06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco



2/3 Future Regional Center



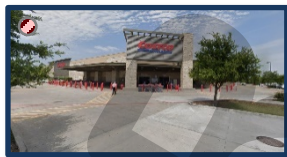
2 Future Regional Center

LAND USE PALETTES

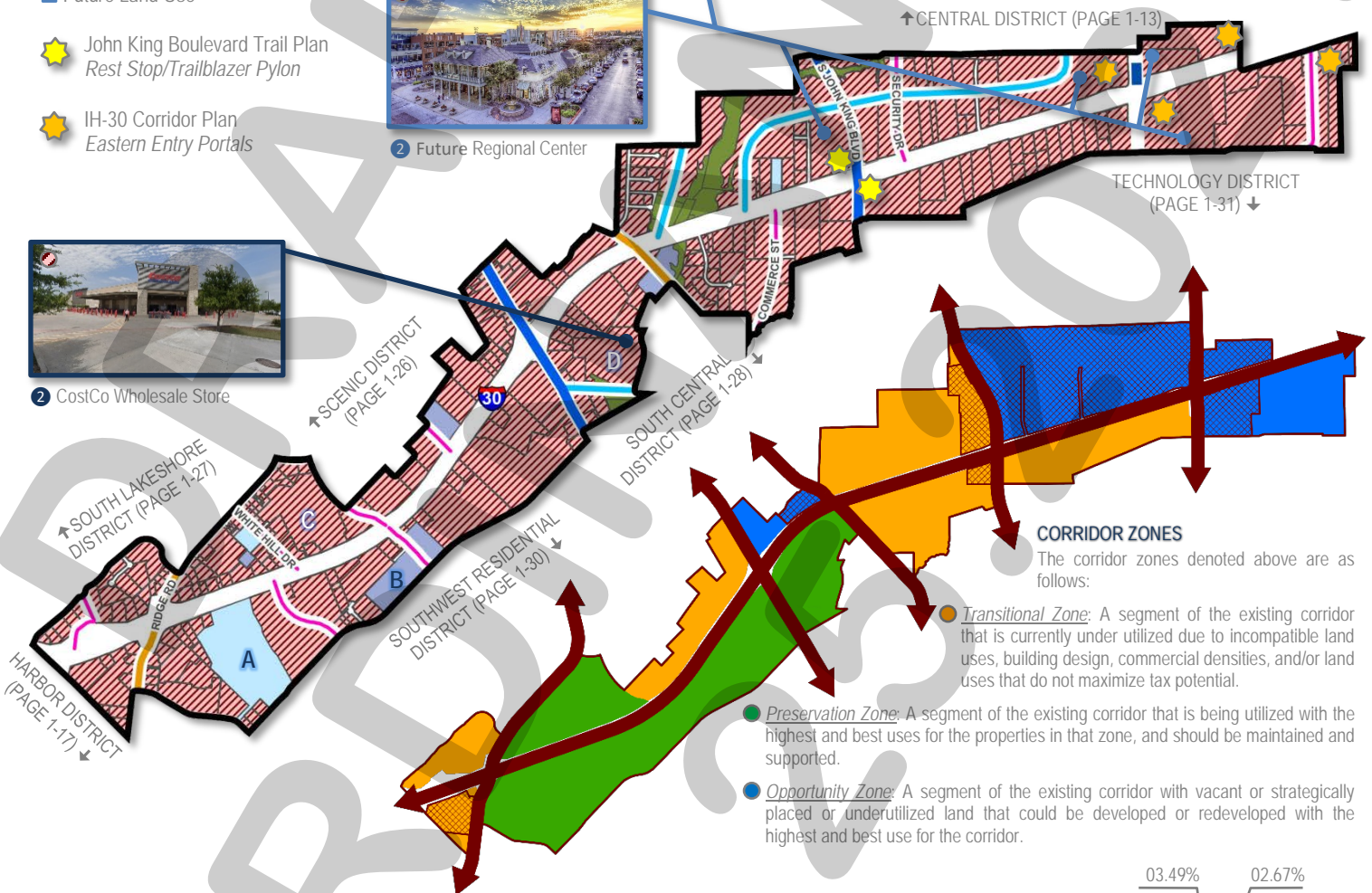
- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

★ IH-30 Corridor Plan Eastern Entry Portals



2 Costco Wholesale Store



DISTRICT STRATEGIES

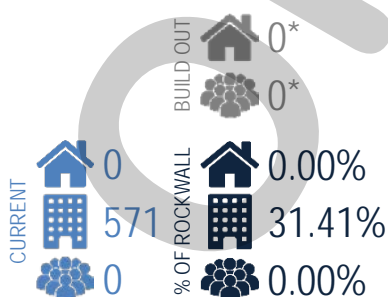
The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (☒) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

CORRIDOR ZONES

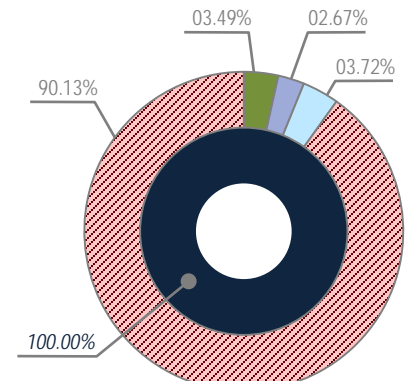
The corridor zones denoted above are as follows:

- **Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- **Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- **Opportunity Zone:** A segment of the existing corridor with vacant or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



LAND USE	PERCENTAGE	ACRES
COMMERCIAL	100.00%	
RESIDENTIAL	0.00%	
MIXED USE	0.00%	
PARKS AND OPEN SPACE (OS)		37.03-ACRES
PUBLIC (P)		28.31-ACRES
QUASI-PUBLIC (QP)		39.49-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)		957.15-ACRES

ROAD TYPE	ACRES
MINOR COLLECTOR	
M4U	
M4D	
P6D	
TXDOT 4D	



07 INNOVATION DISTRICT

DISTRICT DESCRIPTION

The *Innovation District* is located at the eastern most point of the City's Extraterritorial Jurisdiction (ETJ). This district currently has several existing medium density residential subdivisions, including Alexander Ranch, Wanda Ridge Estates, Bent Trail Estates and portions of the Chisholm Trail Subdivision. Currently, the district is bisected by SH-276, which acts as the districts primary east/west access. The *Innovation District* is intended to build on the possibilities of the future Outer Loop, which could dramatically reshape land use in this area. In addition, this district could provide the potential for a second major commercial/retail and office corridor that could complement the existing IH-30 corridor.

DISTRICT STRATEGIES

With the possibility of the future Outer Loop following the current alignment of FM-548, the *Innovation District's* land use pattern is anticipated to change at the intersection of FM-548 and SH-276. Taking this possibility into consideration the following strategies should be implemented in this district:

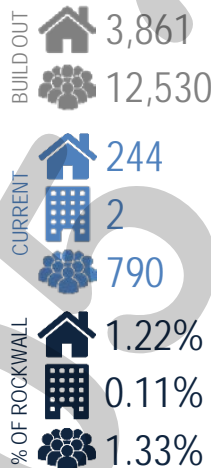
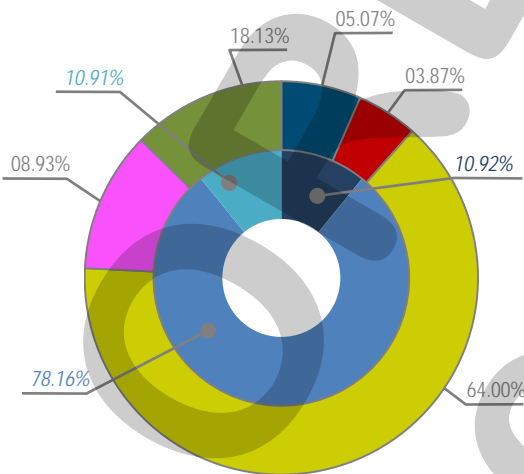
- 1 Opportunity Zone (Intersection of SH-276 & FM-548).** When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses. These uses that can create an "18-Hour" environment (i.e. an environment that provides the ability to live, work, shop, and dine) in the area.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community, any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in the district. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** Due to the anticipated alignment of the Outer Loop (current alignment of FM-548), the commercial/retail centers along FM-548 and SH-276 are ideal for larger scale retail businesses and restaurants that could support office or residential development in the area. These areas could also provide neighborhood service uses intended or smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping, and large buffers) to transition uses.
- 4 Business Center.** The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. corporate headquarters). This area is also suitable for mixed office/commercial land uses.

POINTS OF REFERENCE

- Alexander Ranch Subdivision
- Wanda Ridge Estates Subdivision
- Bent Trail Estates Subdivision
- Chisholm Trail Subdivision

LAND USE PALETTES

- Current Land Use
- Future Land Use



Land Use Type	Percentage	Acres
COMMERCIAL	10.92%	
RESIDENTIAL	78.16%	
MIXED USE	10.91%	
BUSINESS CENTER (BC)		140.62-ACRES
COMMERCIAL/RETAIL (CR)		107.49-ACRES
MIXED USE (MU)		247.86-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)		1,775.24-ACRES
PARKS AND OPEN SPACE (OS)		502.86-ACRES

Infrastructure	Details
MINOR COLLECTOR	(Pink line)
M4U	(Blue line)
TXDOT 6D	(Brown dashed line)

11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

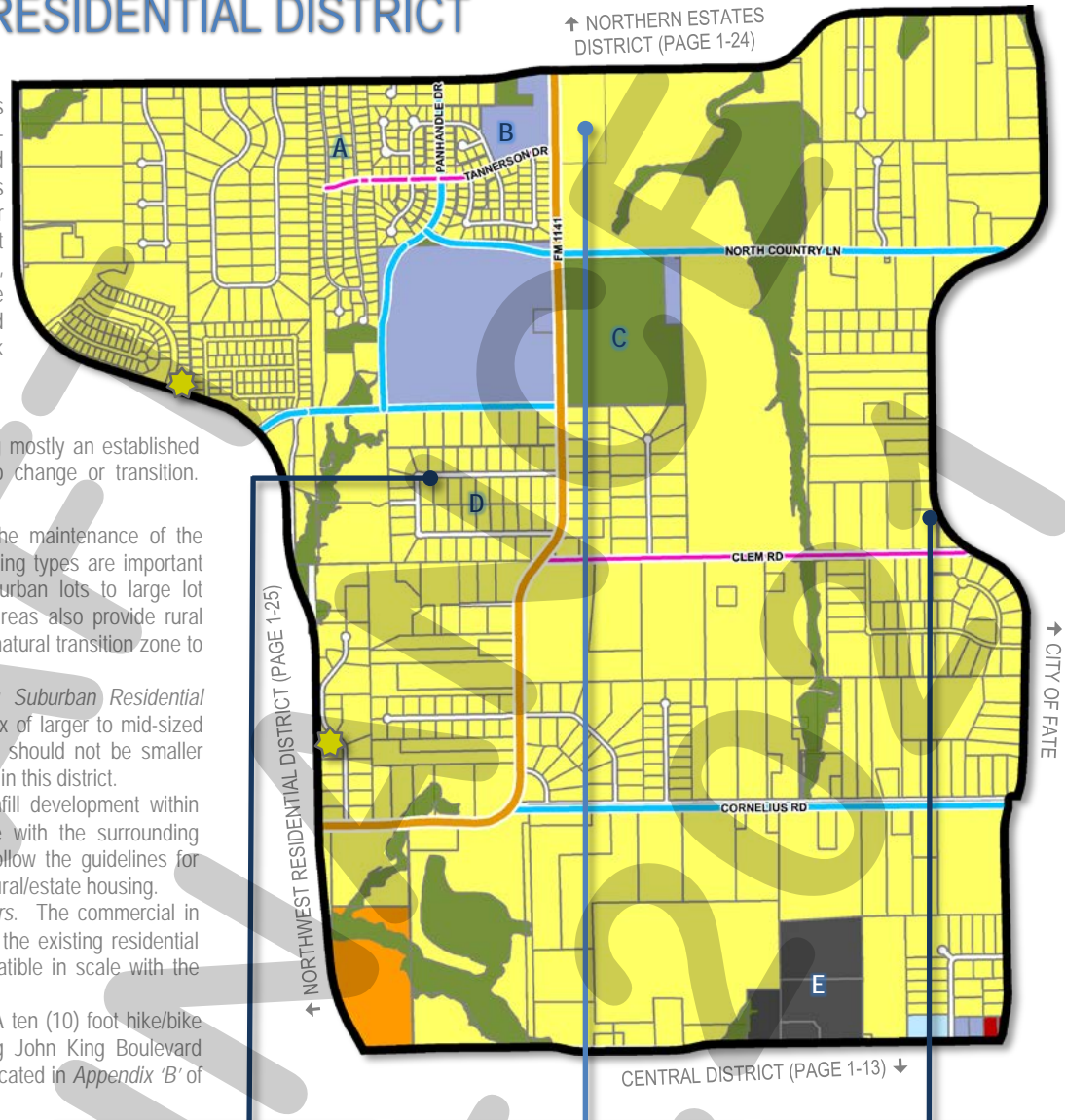
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 **Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 **Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home



2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT 1,964

5,794

% OF ROCKWALL 3.13%

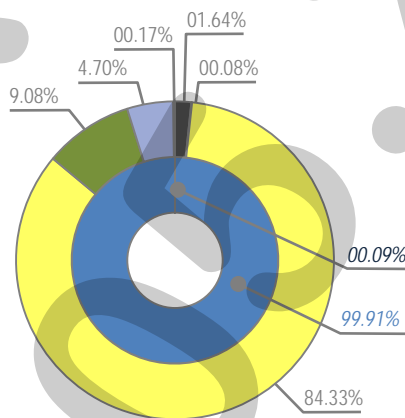
0.99%

3.10%

CURRENT 625

18

1,844



—	MINOR COLLECTOR
—	M4U
—	M4D

■	COMMERCIAL	0.09%
■	RESIDENTIAL	99.91%
■	MIXED USE	0.00%
■	CEMETERY (CEM)	32.34-ACRES
■	COMMERCIAL/RETAIL (CR)	1.52-ACRES
■	LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
■	PARKS AND OPEN SPACE (OS)	178.54-ACRES
■	PUBLIC (P)	92.45-ACRES
■	QUASI-PUBLIC (QP)	3.25-ACRES

17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (*i.e. Equestrian Meadows*) and a medium density (*i.e. West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

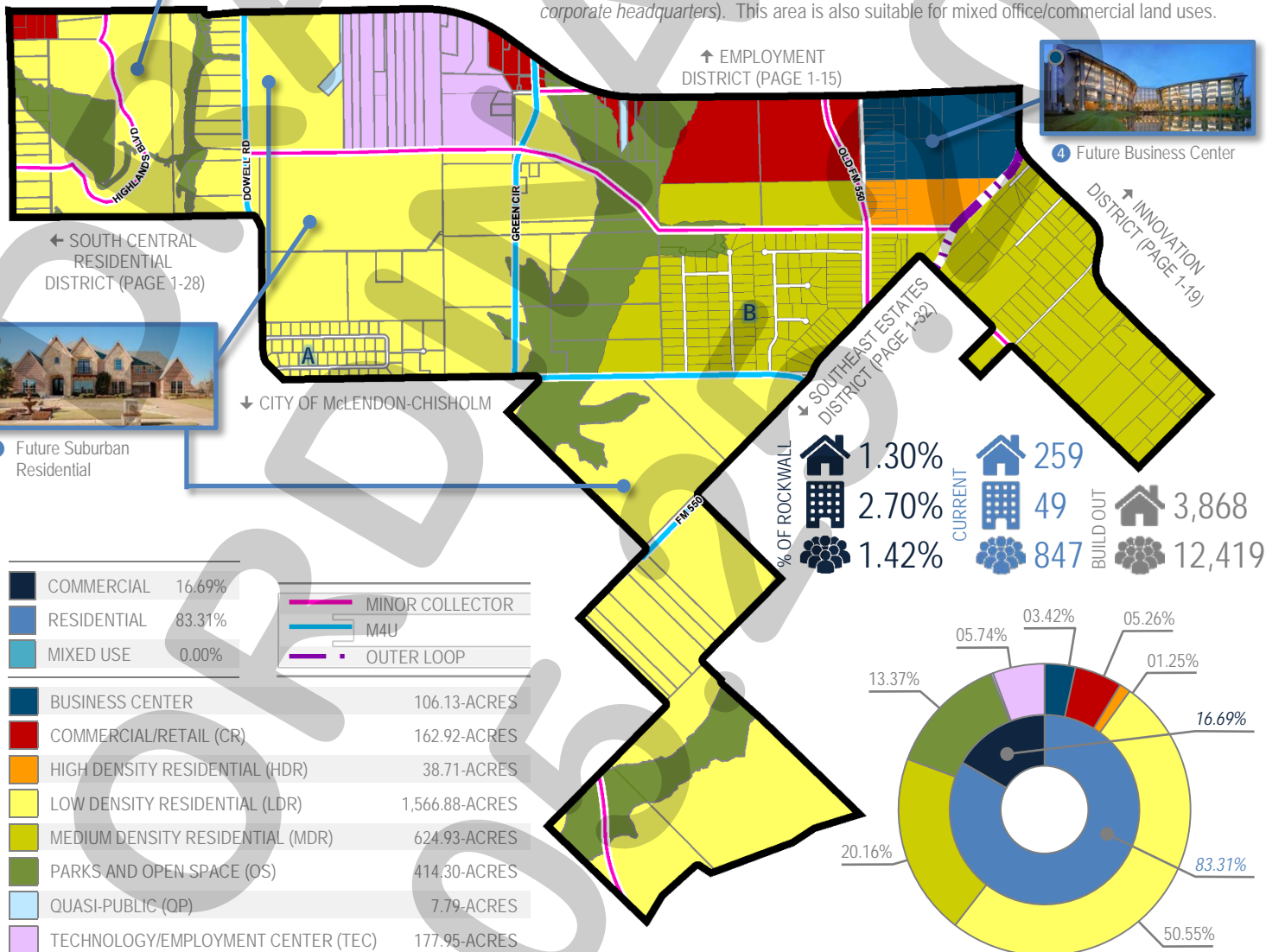
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

↑ TECHNOLOGY DISTRICT (PAGE 1-31)



4 Future Business Center

↑ INNOVATION DISTRICT (PAGE 1-19)

← SOUTH CENTRAL RESIDENTIAL DISTRICT (PAGE 1-28)

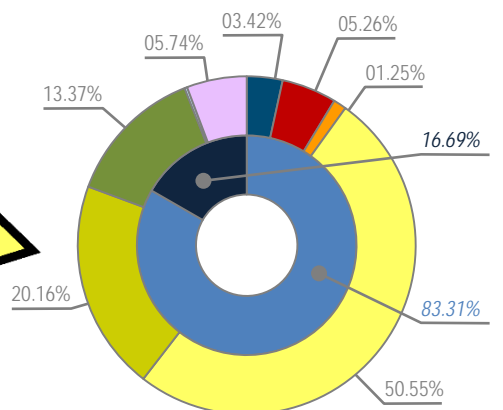


2 Future Suburban Residential

↓ CITY OF McLENDON-CHISHOLM

■ COMMERCIAL	16.69%	— MINOR COLLECTOR
■ RESIDENTIAL	83.31%	— M4U
■ MIXED USE	0.00%	— OUTER LOOP
■ BUSINESS CENTER	106.13-ACRES	
■ COMMERCIAL/RETAIL (CR)	162.92-ACRES	
■ HIGH DENSITY RESIDENTIAL (HDR)	38.71-ACRES	
■ LOW DENSITY RESIDENTIAL (LDR)	1,566.88-ACRES	
■ MEDIUM DENSITY RESIDENTIAL (MDR)	624.93-ACRES	
■ PARKS AND OPEN SPACE (OS)	414.30-ACRES	
■ QUASI-PUBLIC (QP)	7.79-ACRES	
■ TECHNOLOGY/EMPLOYMENT CENTER (TEC)	177.95-ACRES	

% OF ROCKWALL	🏠 1.30%	CURRENT	🏠 259	BUILD OUT	🏠 3,868
	🏢 2.70%		🏢 49		🌳 12,419
	🌳 1.42%		🌳 847		



DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (*i.e. water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone (Intersection of SH-276 & FM-548).** When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (*i.e. an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential.** The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers.** Due to the anticipated alignment of the Outer Loop (*i.e. current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center.** The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (*e.g. corporate headquarters*). This area is also suitable for mixed office/commercial land uses.

20 SUMMARY LAND USE PLAN

SUMMARY OF LAND USE PLAN IN ACRES BY DISTRICT, LAND USE DESIGNATION AND LAND USE

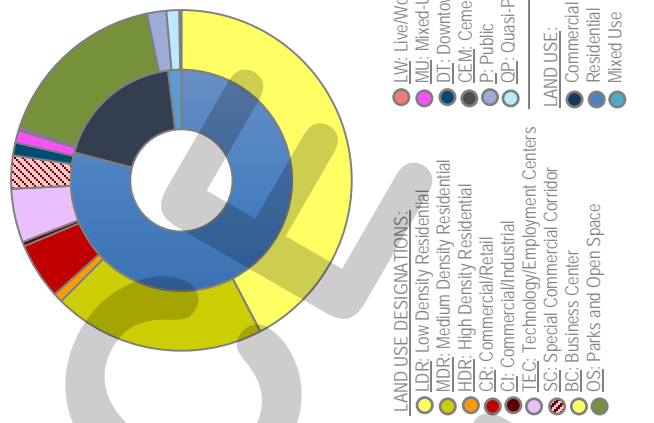
The following is a summary of the total acreage by Land Use District for each Land Use Designation and the corresponding land use breakdown at the time of the adoption of the Comprehensive Plan:

#	DISTRICT (PAGE #)	RESIDENTIAL: 77.17%			COMMERCIAL: 20.63%			MIXED USE: 2.20%			CEM				
		LDR	MDR	HDR	CR	CI	TEC	SC	BC	MU		DT	LW	OS	P
1	CENTRAL (1-13)	234.39	133.75	30.58	143.20		381.07	0.08				204.05	212.77	23.65	0.18
2	DOWNTOWN (1-14)		246.20	6.27	24.06	5.82				37.67	23.85	41.69	35.21	19.70	17.11
3	EMPLOYMENT (1-15)	0.03	355.53		67.72		640.37		86.38			106.27	14.31	39.12	
4	FAR NORTH ESTATES (1-16)	2,265.23	131.27	48.50								981.02			
5	HARBOR (1-17)		35.22	48.42	14.25					83.60		9.97			1.43
6	IH-30 CORRIDOR (1-18)							957.15				37.03	28.31	39.49	
7	INNOVATION (1-19)		1,775.24	107.49					140.62		502.86				
8	MARINA (1-20)		317.63	14.04	2.80						100.71			5.18	0.03
9	MEDICAL (1-21)				65.95						38.65		1.27	26.14	
10	NORTH LAKESHORE (1-22)		1,237.77		56.94				36.01						
11	NORTHEAST RESIDENTIAL (1-23)	1,658.33			1.52						12.29	541.83	40.53	5.58	3.76
12	NORTHERN ESTATES (1-24)	1,643.65	0.04	68.87							178.54	92.45	3.25	32.34	
13	NORTHWEST RESIDENTIAL (1-25)		581.43	60.20							341.15				
14	SCENIC (1-26)		28.04	54.77	20.89					33.21		315.22	38.11	9.66	
15	SOUTH LAKESHORE (1-27)		381.87		34.92						2.63	38.13	52.63	14.31	
16	SOUTH CENTRAL RESIDENTIAL (1-28)	1,102.26	200.85		144.84						3.66	123.68		2.93	0.75
17	SOUTH CENTRAL ESTATES (1-29)	1,566.88	624.93	38.71	162.92	7.79					283.44	40.36	161.33	0.99	
18	SOUTHWEST RESIDENTIAL (1-30)	566.88	481.39		277.44	120.50		106.13			414.30		7.79		
19	TECHNOLOGY (1-31)	425.14	27.22	74.61	78.42	530.85	6.76				570.30		8.67		
		9,462.79	6,558.38	267.40	1,380.93	126.32	1,560.08	963.99	369.14	364.67	67.81	4,828.84	557.90	374.74	56.59
		35.08%	24.31%	0.99%	5.12%	0.47%	5.78%	3.57%	1.37%	1.35%	0.25%	17.90%	2.07%	1.39%	0.21%

SUMMARY OF HOUSING, BUSINESSES AND POPULATION BY DISTRICT

The following is a summary of the number of housing units, businesses and total population broken out by the Land Use Plan District at the time of the adoption of the Comprehensive Plan and at the projected build out for the City:

#	DISTRICT (PAGE #)	CURRENT			BUILD OUT						
		Houses	%	Population	Houses	%	Population				
01	CENTRAL (1-13)	220	1.10%	71	3.91%	488	0.82%	681	1.61%	1,512	1.77%
02	DOWNTOWN (1-14)	926	4.63%	248	13.64%	2,370	3.98%	1,037	2.44%	2,639	2.05%
03	EMPLOYMENT (1-15)	202	1.01%	105	5.78%	644	1.08%	987	2.33%	3,149	2.44%
04	FAR NORTH ESTATES (1-16)	256	1.28%	5	0.28%	791	1.33%	4,269	10.06%	13,191	10.22%
05	HARBOR (1-17)	1,292	6.46%	119	6.55%	3,915	6.58%	1,921	4.53%	5,821	4.51%
06	IH-30 CORRIDOR (1-18)	0	0.00%	571	31.41%	0	0.00%	0	0.00%	0	0.00%
07	INNOVATION (1-19)	244	1.22%	2	0.11%	790	1.33%	3,861	9.10%	12,530	9.71%
08	MARINA (1-20)	1,536	7.68%	6	0.33%	3,923	6.59%	1,624	3.83%	4,146	3.21%
09	SCENIC (1-26)	0	0.00%	173	9.52%	0	0.00%	0	0.00%	0	0.00%
10	NORTH LAKESHORE (1-22)	4,052	20.26%	65	3.58%	12,206	20.50%	4,358	10.27%	13,135	10.18%
11	NORTHEAST RESIDENTIAL (1-23)	625	3.13%	18	0.99%	1,844	3.10%	1,964	4.63%	5,794	4.49%
12	NORTHERN ESTATES (1-24)	904	4.52%	1	0.06%	2,671	4.49%	2,395	5.65%	7,114	5.51%
13	NORTHWEST RESIDENTIAL (1-25)	1,782	8.91%	25	1.38%	5,328	8.95%	2,347	5.53%	7,018	5.44%
14	SCENIC (1-26)	1,040	5.20%	71	3.91%	2,309	3.88%	1,092	2.57%	2,424	1.88%
15	SOUTH LAKESHORE (1-27)	1,618	8.09%	32	1.76%	5,501	9.24%	1,638	3.86%	5,569	4.32%
16	SOUTH CENTRAL RESIDENTIAL (1-28)	2,153	10.77%	5	0.28%	6,911	11.61%	3,757	8.86%	12,060	9.35%
17	SOUTH CENTRAL ESTATES (1-29)	259	1.30%	49	2.70%	847	1.42%	3,868	9.12%	12,419	9.62%
18	SOUTHWEST RESIDENTIAL (1-30)	2,190	10.95%	188	10.34%	7,437	12.49%	4,251	10.02%	14,108	10.93%
19	TECHNOLOGY (1-31)	701	3.51%	64	3.52%	1,556	2.61%	2,376	5.60%	6,414	4.97%
		20,000	100.00%	1,818	100.00%	59,531	100.00%	42,426	100.00%	129,043	100.00%



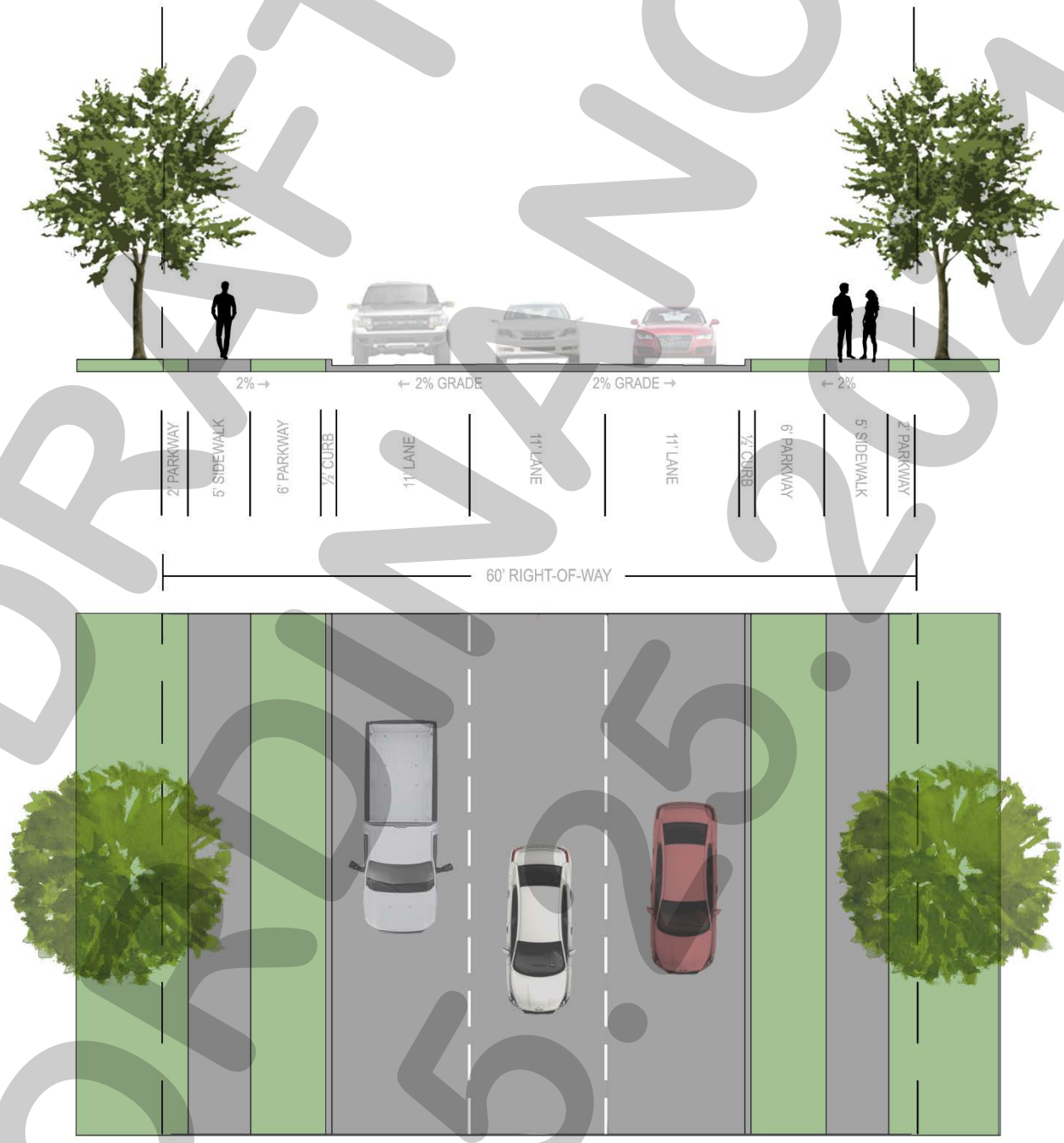
05 STREET CROSS SECTIONS

05 PRINCIPLE ARTERIALS

ROAD TYPE: PRINCIPAL ARTERIAL, THREE (3) LANE, UNDIVIDED ROADWAY

ABBREVIATION: P3U

DESIGN STANDARDS: [1] 60' ROW, [2] NO ON-STREET PARKING, & [3] 45 MPH DESIGN SPEED



04 IMPLEMENTATION PLAN

01 ACTION PLAN

		IMPLEMENTATION TIME PERIOD									
		2019	2020	2021	2022	2023	2024	2025	2026	2027	2028
ACTION PLAN	AS # <i>Action Plan Strategy</i>										
	1 <i>Annual Review Process.</i> The <i>Annual Review Process</i> is a review of the previous year's actions and their corresponding effect on the Comprehensive Plan. Through this review City staff, the Comprehensive Plan Advisory Committee (CPAC) and the City Council can make minor changes to the plan to ensure that it continues to be an effective tool for decision-making and accurate representation of the City's vision.	✓	✓								
	2 <i>5 Year Review Process.</i> The <i>5-Year Review Process</i> is a more in-depth review of the goals, policies and implementation strategies contained in the plan. Through this review the City staff, the Comprehensive Plan Advisory Committee (CPAC) and the City Council have the ability adjust or add goals, policies and implementation strategies.										
	3 <i>10 Year Review Process.</i> The <i>10-Year Review Process</i> is intended to allow the Comprehensive Plan Advisory Committee (CPAC) and the City Council set new goals, policies and implementation strategies, and make any changes to the vision necessary to meet that vision over the next ten (10) years.										
	4 Review all development applications for consistency with this Comprehensive Plan.										
	5 Ensure that all proposed Capital Improvement Projects are consistent with the recommendations of the plan.										
	6 In an effort to make the plan available to all Rockwall citizens, staff should ensure that the plan is available in paper copies at City Hall and various electronic formats through the City's website.	✓									
	7 Create an online version of the plan that can be used to track staff's progress, update the community of any changes to the plan through the review process, and allow for continued community interaction.	✓									
8 Revise and update the <i>Existing Conditions Report</i> on a five (5) year basis.											

KEY: ONGOING ACTION REQUIRED: [Blue Hatched] | REVIEW PERIOD: [Orange] | IMPLEMENTATION YEAR: [Dark Blue] | EVALUATION OF ONGOING PROGRAMS: [Red Hatched] | COMPLETED TASKS: ✓ AND 1

04 IMPLEMENTATION PLAN

02 REGULATIONS IMPLEMENTATION SCHEDULE

Schedule	IS#	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD											
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028		
REGULATIONS	11	Review the City's Agricultural (AG) District standards to ensure that land can remain agriculturally zoned and designated until development of a site is eminent.	1	PLANNING AND ZONING DEPARTMENT	LOW		✓										
	12	Ensure that the City's <i>Standards of Design and Construction Manual</i> allows for the implementation of Traditional Neighborhood Development (TND) principles.	4	ENGINEERING DEPARTMENT	LOW												
	13	Review the City's Permitted Land Use Charts contained in the Unified Development Code to ensure that the employment land use designation on the Future Land Use Map is compatible with the City's zoning districts and the permitted land uses within those zoning districts, make any changes necessary.	1	PLANNING AND ZONING DEPARTMENT	LOW												
	14	Review the City's development requirements contained in the Unified Development Code to ensure that they do not discourage green building practices and principals.	2	PLANNING AND ZONING DEPARTMENT	LOW												
	15	Review the existing density, development and design standards contained in the Unified Development Code to ensure the requirements support and encourage the creation of vibrant public spaces built around social interaction.	7	PLANNING AND ZONING DEPARTMENT	LOW												
	16	Draft model standards for areas zoned for alternative forms of housing (<i>i.e. Townhouses, Condominiums, and Apartments</i>) that can be incorporated in to Article 10, <i>Planned Development Regulations</i> , of the Unified Development Code. These policies will ensure the City has development standards targeted at encouraging the best product available.	8	PLANNING AND ZONING DEPARTMENT	HIGH												
	17	Review the City's residential adjacency standards to ensure that building height and design are addressed in conformance to the policies and procedures of this Comprehensive Plan.	9	PLANNING AND ZONING DEPARTMENT	LOW												
	18	Review Article 06, <i>Permissible Uses</i> , of the Unified Development Code to ensure conformance with the policies and procedures of this Comprehensive Plan.	9	PLANNING AND ZONING DEPARTMENT	LOW												

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [checkered] | REGULATORY TIME PERIOD: [orange with border] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red] | NOTES: RED

04 IMPLEMENTATION PLAN

03 POLICIES & ACTIONS IMPLEMENTATION SCHEDULE

Schedule	IS#	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD												
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028			
POLICIES & ACTIONS	1	Utilize Fiscal Impact Analysis (FIA) to create a fiscal impact model for the purpose of relating cost of service, assessed value and taxable value to potential changes in land uses for the purpose of assisting elected and appointed officials in making informed decisions that will benefit the community.	1 6	PLANNING AND ZONING DEPARTMENT	MEDIUM	✓												
	2	Review the Future Land Use Map on an annual basis to ensure conformance to the policies contained within this Comprehensive Plan and to account for annual changes in [1] growth/development patterns, [2] residential and non-residential zoning changes, [3] and changes in the Parks, Recreation and Open Space Master Plan.	1 2 3	PLANNING AND ZONING DEPARTMENT	LOW													
	3	Develop an Economic Development Strategic Plan that focuses on providing a unified approach to addressing proactive recruitment of commercial businesses (i.e. industrial, office and retail).	6	ADMINISTRATION	HIGH													
	4	Develop a model that can be used to analyze future zoning and land use decisions that are associated with new development. This model should create a rational link between the Future Land Use designation of a property and the resulting impact of a proposed development, and further assist elected and appointed officials in making informed decisions that will benefit the community.	1 6	PLANNING AND ZONING DEPARTMENT	MEDIUM													
	5	Review the Master Trail Plan on an annual basis to ensure that trails and floodplain conform to the policies contained in this Comprehensive Plan. In addition, the plan should be reviewed and revised to account for changes in the City's Master Thoroughfare Plan, and to ensure that plan provides public access points and connectivity and access to all areas in the City.	2 4 7	PARKS & RECREATION DEPARTMENT	LOW													
	6	Review the Parks, Recreation and Open Space Plan and this Comprehensive Plan on a five (5) year basis to ensure the documents goals and policies conform.	3	PARKS & RECREATION DEPARTMENT	LOW													
	7	Work to create an Annual Parks and Recreation Business Plan that can guide programming and events on a yearly basis.	5	PARKS & RECREATION DEPARTMENT	LOW													
	8	Review these residential policies on a five (5) year basis to ensure that they adjust to changes in the market, and continue to provide a long-term vision for the community.	8	PLANNING AND ZONING DEPARTMENT	LOW													
	9	Review and revise the Master Drainage Study on an as needed basis (i.e. upon the annexation of new land or changing of land use).	4	ENGINEERING DEPARTMENT	LOW													

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [red] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red] | NOTES: RED

04 IMPLEMENTATION PLAN

03 POLICIES & ACTIONS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD																
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028							
POLICIES & ACTIONS	10	Review Drainage Utility Districts (DUD) in other cities and create a feasibility report on DUD's to report to the City Manager and City Council.	4	ENGINEERING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	11	Incorporate a representative from the Police Department in the development review process to ensure that development is being planned in accordance with Crime Prevention through Environmental Design (CPTED) guidelines.	5	POLICE DEPARTMENT	LOW	✓	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	12	Evaluate residential initiated enforcement cases for each subdivision and put together an Inspection Efficiency Analysis that can help increase the efficiency of the Neighborhood Improvement Services (NIS) Department in the future.	5	NEIGHBORHOOD IMPROVEMENT SERVICES	LOW	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
	13	Review and update the Downtown Plan (i.e. <i>Downtown Plan: Blue Print for a Downtown Village</i>) and incorporate the findings into this Comprehensive Plan.	1	PLANNING AND ZONING DEPARTMENT	MEDIUM	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: ■ | REVIEW PERIOD: ■ | IMPLEMENTATION YEAR: ■ | EVALUATION OF ONGOING PROGRAMS: ■ | COMPLETED TASKS: ✓ AND ① | REVISED TARGET DATE: ■ | NOTES: RED

04 IMPLEMENTATION PLAN

07 CAPITAL & FINANCIAL IMPROVEMENTS IMPLEMENTATION SCHEDULE

Schedule	IS #	Implementation Strategy	Chapter Reference	Department Lead	Strategy Priority	IMPLEMENTATION TIME PERIOD															
						2019	2020	2021	2022	2023	2024	2025	2026	2027	2028						
CAPITAL & FINANCIAL IMPROVEMENTS	1	Review and revise the Master Thoroughfare Plan on an annual basis to ensure conformance to the policies contained within this Comprehensive Plan, and to account for annual changes in land use patterns and transportation needs.	4	PLANNING AND ZONING DEPARTMENT	LOW																
	2	Review and revise the Paving Assessment on a five (5) year basis to account for changes in roadway conditions.	4	ENGINEERING DEPARTMENT	HIGH																
	3	Review and revise the Water and Wastewater Master Plans and the Impact Fee Study every five (5) years to account for changes to the Future Land Use Map and population projects.	4	ENGINEERING DEPARTMENT	HIGH	✓															
	4	Review the City's existing thoroughfares to look for opportunities to redevelop existing right-of-ways utilizing the goals and policies contained in this Comprehensive Plan.	4	PLANNING AND ZONING DEPARTMENT	LOW																
	5	Develop a long-term strategy for the replacement of City facilities that includes potential adaptive reuses of the existing facilities.	5	INTERNAL OPERATIONS	MEDIUM																
	6	Consider creating a capital project and amenity life-cycle replacement plan that includes projected budget needs.	3	PARKS & RECREATION DEPARTMENT	MEDIUM																
	7	Perform an assessment of all vacant land suitable for non-residential development within the City and anticipate the possible infrastructure required to effectively develop these areas with non-residential development.	6	PLANNING AND ZONING DEPARTMENT	LOW																
	8	Utilize the City's Geographic Information Systems (GIS) software to track and evaluate existing waterlines, and create a replacement program.	4	PLANNING AND ZONING DEPARTMENT	MEDIUM																
	9	Utilize CityWorks Asset Management System software to evaluate the existing water/wastewater system and streamline reoccurring maintenance.	4	PLANNING AND ZONING DEPARTMENT	MEDIUM																
	10	Camera all existing wastewater lines to evaluate the structure integrity and capacity of each segment and log into the Asset Management System.	4	ENGINEERING DEPARTMENT	MEDIUM																
	11	Incorporate an infrastructure section into staff's development case memorandums to account for potential impacts/needs for zoning changes that propose more intense land uses.	4	PLANNING AND ZONING DEPARTMENT	LOW	✓															

KEY: PRIORITY LEVELS: HIGH, MEDIUM & LOW | ONGOING ACTION REQUIRED: [diagonal lines] | REVIEW PERIOD: [orange] | IMPLEMENTATION YEAR: [blue] | EVALUATION OF ONGOING PROGRAMS: [red with diagonal lines] | COMPLETED TASKS: ✓ AND 1 | REVISED TARGET DATE: [red]



01 PURPOSE

This appendix is intended to focus on the City's various major corridors and the relationship of the roadway to the adjacent land, land uses, and aesthetics of these areas. Each corridor study is intended to provide a framework and design guidelines that can assist the decision making process of City staff, the City's various boards and commissions, and the City Council.

02 CORRIDOR PLANS

02.01 IH-30 CORRIDOR PLAN

- 1 Background and Introduction
- 2 Plan Framework
- 3 Corridor Strategies
- 4 Implementation Plan

02.02 JOHN KING BOULEVARD CORRIDOR PLAN

- 1 Background and Introduction
- 2 Issues and Opportunities
- 3 Design Concept and Palette
- 4 Design Elements
- 5 Access Policies
- 6 Implementation

02.03 SH-276 CORRIDOR PLAN

RESERVED.

***LEFT:** The image depicts TXDOT contractors working in the IH-30 Corridor along the eastern most boundary of the City.*

ACKNOWLEDGEMENTS

CITY COUNCIL

Jim Pruitt, *Mayor*
John Hohenshelt, *Mayor Pro-Tem*
Kevin Fowler
Bennie Daniels
Dana Macalik
Trace Johannesen
Patrick Trowbridge

FORMER CITY COUNCIL

Scott Milder
David White
Mike Townsend
Dennis Lewis

PLANNING AND ZONING COMMISSION

Johnny Lyons, *Chairman*
Eric Chodun, *Vice Chairman*
Tracey Logan
Jerry Welch
Mark Moeller
Annie Fishman
John Womble

STAFF PLANNING COMMITTEE

Ryan Miller, *Director of Planning and Zoning*
David Gonzales, *Planning Manager*
Korey Brooks, *Senior Planner*
Amy Williams, *City Engineer/Director of Public Works*
Ariana Hargrove, *Fire Marshal*
John Ankrum, *[Former] Building Inspections Supervisor*
Lance Singleton, *GIS Supervisor*
Lindsay Gnan, *GIS Analyst*
Laura Perez, *Executive Secretary*
Lauri Dodd, *Public Information Officer*

ADMINISTRATION

Rick Crowley, *City Manager*
Mary Smith, *Assistant City Manager*
Brad Griggs, *Assistant City Manager*

1 BACKGROUND AND INTRODUCTION

The Interstate Highway 30 (IH-30) Corridor serves as the City of Rockwall's principal commercial/retail and transportation corridor. Retail and commercial businesses along this passageway are responsible for a large majority of the sales tax generated within the city. Since Rockwall has become the main commercial/retail generator for the county, IH-30 has served as the primary east/west roadway and acts as not only the gateway for traffic entering and exiting the city, but also the county. In addition, Rockwall's businesses

have greatly benefited from the high volumes of traffic carried by IH-30 on a daily basis; however, as the region grows so do the cities situated east of Rockwall, and as demand for commercial/retail grows in these communities, businesses will be attracted to these areas. To maintain the City's competitiveness in the region, Rockwall's City Council directed staff to study the IH-30 Corridor and provide potential strategies that will: (1) address retail/business retention in the corridor, (2) provide strategies to target regional land uses, and (3) provide a plan for strategically located vacant land along IH-30. The following plan framework, corridor strategies, and implementation plan were drafted as part of a larger corridor plan that was approved by the City Council on March 18, 2019. This document is intended to act as a roadmap for planning the IH-30 Corridor's land uses and development characteristics to ensure the future prosperity of the community.

2 PLAN FRAMEWORK

PLAN FRAMEWORK

Broad planning ideas, goals and objectives form the framework used to develop strategies intended to support existing land uses and to target and attract new regional land uses. From the existing conditions analysis, the retail trade area analysis, the benchmark analysis and the stakeholder engagement workshop, prepared with the IH-30 Corridor Plan, the Staff Planning Committee (SPC) created the broad framework depicted in *Figure 1: Plan Framework*. This framework was used to identify strategies for business retention/attraction in the corridor and to draft an implementation plan. This framework includes:

CORRIDOR ZONES

The *Corridor Zones* (i.e. *Preservation, Transition and Opportunity Zones*) -- which were established by citizens and stakeholders as part of *Station 3: Plan Framework of the stakeholder engagement workshop and reviewed by the SPC* -- are as follows (and depicted in *Figure 1: Plan Framework*):

☑ *Corridor Zone #1:* This zone is situated between Horizon Road (FM-3097) and Ridge Road (FM-740) on the north side of IH-30 and is designated as a *Transitional Zone*. This designation is due to the large amount of vacant property that currently exists in this area, and the uncertainty of how the development of this land will affect adjacent/existing land uses.

☑ *Corridor Zone #2:* This triangular shaped zone is situated within the bounds of Ridge Road (FM-740), Horizon Road (FM-3097), and IH-30, and is identified as a *Transition Zone*. This area contains an older shopping center (i.e. *Carlisle Plaza*) that is currently in the process of transitioning. The public also identified this area as a *Strategically Located Property* in the stakeholder engagement meeting. Due to its redevelopment opportunity.

☑ *Corridor Zone #3:* This zone is divided between two (2) designations due to discrepancies between the public's map and the SPC's map. The portion from Ridge Road (FM-740) to Greencrest Boulevard is identified as a *Preservation Zone*, and the area between Greencrest Boulevard and N. Goliad Street (SH-205) is identified as a *Transition Zone*. The split designation indicates a difference in the development of these two (2) areas, and of how these businesses have changed overtime. This split is also attributed to the new development currently taking place in the area between Greencrest Boulevard and S. Goliad Street (SH-205).

☑ *Corridor Zone #4:* This zone is directly south of *Corridor Zone #3* and extends from Ridge Road (FM-740) to N. Goliad Street (SH-205). This area is identified as a *Preservation Zone*, which is primarily attributed to recently developed shopping centers in this zone. These properties are currently considered highly performing commercial/retail properties.

☑ *Corridor Zone #5:* This zone extends from N. Goliad Street (SH-205) to T. L. Townsend Drive and is identified as an *Opportunity Zone*. The purpose of this designation is tied to the large vacant property in front of the County Courthouse, and to other potential redevelopment opportunities within this area.

☑ *Corridor Zone #6:* This zone extends from S. Goliad Street (SH-205) to T. L. Townsend Drive and is identified as a *Preservation Zone*. This area includes newer development in the IH-30 corridor (i.e. *the CostCo shopping center and adjacent land uses*) that should be preserved moving forward.

☑ *Corridor Zone #7:* This zone is identified as a *Transition Zone* and extends from T. L. Townsend Drive to John King Boulevard. This area incorporates industrial and interim land uses that are considered to be

transitioning. In addition, this land also incorporates strategically located vacant property adjacent to the John King Boulevard.

- ☑ **Corridor Zone #8:** This zone is also situated between T. L. Townsend Drive and John King Boulevard, south of IH-30. The area is identified as a *Transition Zone*, due to the large amount of transitional or interim land uses along the IH-30 frontage road. In addition, the property has several large tracts of land that are currently vacant. When developed these properties could change the land use pattern for the area. This zone also has a strategically located, vacant property at the southwest corner of John King Boulevard and IH-30.
- ☑ **Corridor Zone #9:** This corridor zone extends from John King Boulevard to Stodghill Road (FM-3549). Since the majority of these tracts are currently vacant, this zone is identified as an *Opportunity Zone* and all property in this area is identified as strategically located property.
- ☑ **Corridor Zone #10:** This zone is situated between John King Boulevard and Corporate Crossing, and is identified as a

Transitional Zone. The purpose of this designation is tied to the existing land uses and parcelization pattern of the area (i.e. the way the property has been subdivided over time).

- ☑ **Corridor Zone #11:** This corridor zone is identified as an *Opportunity Zone* and is located north of IH-30, east of Stodghill Road (FM-3549). This zone is vacant and is directly adjacent to the City's eastern City limit line. This entire zone is considered to be a strategically located property.
- ☑ **Corridor Zone #12:** The final corridor zone is south of IH-30, east of Corporate Crossing. This zone is primarily vacant and only contains a few interim land uses. Due to the largely undeveloped area in this zone, it is identified as an *Opportunity Zone*. In addition, the zone contains strategically located property at the southeast corner of the intersection of John King Boulevard and IH-30.

STRATEGICALLY LOCATED PROPERTIES
Using the findings from the *Benchmark Analysis -- detailed in Chapter 3, Benchmark Analysis for Strategically Located Properties,*

of the *IH-30 Corridor Plan* -- the SPC identified potentially appropriate developments for each of the strategically located properties. The models used in this exercise were as follows:

- (1) Strip Retail Center Model
- (2) Mixed-Use Center Model
- (3) Town Center Model
- (4) Regional Destination Center Model

NOTE: See Section 3, Benchmark Analysis Findings, of Chapter 3, Benchmark Analysis for Strategically Located Properties, of the IH-30 Corridor Plan for definitions/characteristics of each model.

The findings by the SPC are as follows (and depicted in Figure 1: Plan Framework):

- ☑ **Strategically Located Property #1:** The first strategically located property represents the only redevelopment possibility that was identified by the SPC and/or the public, and could benefit from an adaptive reuse or redevelopment plan. Taking this into consideration the SPC did not apply any of the models to this property. It was simply identified as a *redevelopment opportunity*.
- ☑ **Strategically Located Property #2:** This strategically located property is situated at the southwest corner of T. L. Townsend

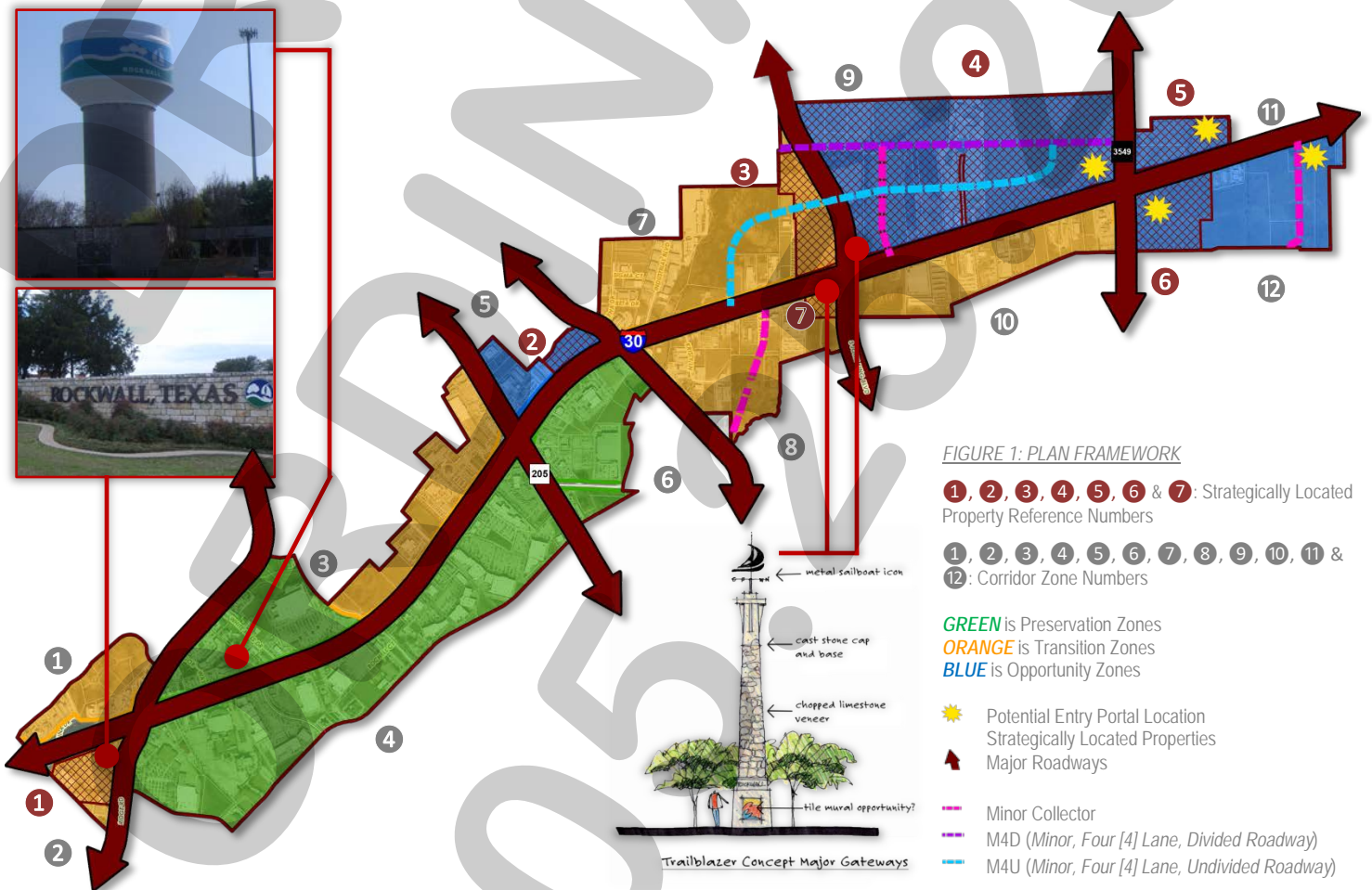


FIGURE 1: PLAN FRAMEWORK

1, 2, 3, 4, 5, 6 & 7: Strategically Located Property Reference Numbers

1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12: Corridor Zone Numbers

GREEN is Preservation Zones
ORANGE is Transition Zones
BLUE is Opportunity Zones

☀ Potential Entry Portal Location
Strategically Located Properties
➔ Major Roadways

--- Minor Collector
--- M4D (Minor, Four [4] Lane, Divided Roadway)
--- M4U (Minor, Four [4] Lane, Undivided Roadway)

Drive and the IH-30 frontage road, and is currently owned by Rockwall County. The SPC unanimously identified this property as being suitable for a *Strip Retail Center*. It should also be pointed out that this property is currently entitled for this type of development under the Commercial (C) District as defined by the UDC. The SPC felt that despite being a highly visible site this model was appropriate due to the limited access caused by the location of the on/off ramps at John King Boulevard and S. Goliad Street (SH-205).

- ☑ Strategically Located Property #3: This strategic area is located adjacent to the western right-of-way line of John King Boulevard, and is partially zoned Commercial (C) District with the remainder being zoned Light Industrial (LI) District. The SPC identified this property as being suitable for a *Mixed-Use Center* or a *Town Center*. This designation is due to the location and visibility of the property, and that it is located near and accessible from two (2) major roadways (i.e. *John King Boulevard and Justin Road*) and a major highway (i.e. *IH-30*). With this being said the property is situated below the highway overpass and as a result the site has limited visibility for a single-story structure. Structures that are two (2) to three (3) stories in height would be better suited for this property.
- ☑ Strategically Located Property #4: This area is located between John King Boulevard and Stodghill Road (FM-3549), north of IH-30. The properties in this area are zoned as Commercial (C), Light Industrial (LI) and Agricultural (AG) Districts. Due to the large acreage of these strategic properties, the SPC broke the designation of this area into three (3) zones. The first was directly adjacent to John King Boulevard and was identified as being suitable for *Strip Retail Center* by the SPC. The second area was located between Security Drive and the golf course (i.e. *A1 Golf*) and was identified as being suitable for a *Town Center* development. The third area was the remainder of the property and was identified as being suitable for a *Regional Destination Center*. These designations stem from the good visibility and close proximity to major roadways. In addition, this property is in an ideal location for a large commercial/retail development/regional center.
- ☑ Strategically Located Property #5: This property is located at the northeast corner

of Stodghill Road (FM-3549) and IH-30 and is zoned Commercial (C) District. Due to the linear nature of this strategically located property, the SPC identified the *Mixed-Use Center* and *Strip Retail Center* as being potentially appropriate models for development. This property does have limited access and poor visibility from east bound traffic, but is located directly adjacent to *Strategic Located Property # 4* making the possibility for a major intersection at IH-30 and Stodghill Road (FM-3549) highly likely.

- ☑ Strategically Located Property #6: This strategically located property is situated at the southeast corner of Corporate Crossing and IH-30 and is currently zoned Commercial (C) District. The SPC identified this property as being appropriate for both a *Mixed-Use Center* or a *Town Center* based on the location, acreage and its relation to the highway and Corporate Crossing. A *Strip Retail Center* and *Regional Destination Center* were also identified by the SPC as being viable alternatives for this property.
- ☑ Strategically Located Property #7: The final strategically located property is situated at the southwest corner of John King Boulevard and IH-30. The SPC identified this property as predominantly being suitable for a *Strip Retail Center*; however, it was also thought to be a suitable location for a *Mixed-Use Center*. It was ultimately decided by the SPC that this property has the acreage and carrying capacity for both types of centers, but is probably best suited for a *Strip Retail Center* that incorporates a grocery store or other large neighborhood service retailer as a primary anchor. The purpose of this designation is due to the poor visibility caused by the highway overpass and the close proximity to a large amount of residential homes and apartment units. The property is currently zoned Commercial (C) District.

ENTRY PORTALS

Entry portals are an essential element to creating a sense of place and distinguishing a City's boundaries. Currently, the City's western boundary is well defined by Lake Ray Hubbard and the Harbor District. The portals create a defined natural and built edge to the City. The eastern boundary of the City, on the other hand, is undefined. When the SPC examined this area, it was decided that an entry portal was an important element in the plan moving forward; however, the SPC was of

the opinion that it was somewhat difficult to define what an entry portal in this area should look like since these properties remain largely undeveloped. With this the SPC choose several locations where an eastern entry portal could be incorporated at the time the adjacent properties develop. The thinking behind this was that the portal would match the architecture of future development if constructed at the same time as the properties. *Figure 1: Plan Framework* shows the four (4) possible portal locations identified by the SPC along with all existing and proposed monumentation throughout the corridor.

TRANSPORTATION FACILITIES

Looking at the existing and proposed roadway facilities, the corridor is already well circulated, and the future facilities are a good approximation of what will be needed to circulate any future development; however, without knowing exactly what will be developed on these parcels the SPC felt that the current number of roadways depicted on the property between John King Boulevard and Stodghill Road (FM-3549) could be a deterrent to development. With Justin Road extending through the property from east to west and a M4U (minor, four [4] lane, undivided roadway) curving through the property from east to west, two (2) Minor Collectors extending north to south were deemed unnecessary. The SPC was also of the opinion that Commerce Street should be continue in a southwardly direction connecting the IH-30 Frontage Road to T. L. Townsend Drive. These were the only changes to the existing and proposed transportation facilities that appeared to be necessary as a result of this study. *Figure 1: Plan Framework* depicts the proposed roadway amendments.

Staff should point out that these changes were incorporated into the revised Master Thoroughfare Plan contained in this Comprehensive Plan, and that no additional actions would be required with regard to transportation facilities. This was incorporated after the Comprehensive Plan Advisory Committee (CPAC) made similar findings about these areas.

LAND USE PLAN

Looking at the current Future Land Use Plan for the IH-30 Corridor, only about 37.56% of the corridor is identified as a *Special Commercial Corridor*. The remainder of the corridor is scheduled for *Commercial* (38.35%), *Technology/Light Industrial* (13.33%), *Special District* (4.70%), and to a lesser degree *Parks and Open Space, High*

Density Residential, Public Uses and Quasi-Public Uses. After reviewing the goals and objectives of this study, the SPC recommended that the majority of the corridor should be designated as a *Special Commercial Corridor*. The only area that the SPC wanted to deviate from this land use scheme, was the area directly adjacent to the railroad tracks between John King Boulevard and Stodghill Road (FM-3549). The SPC felt that this area should be flexible in nature and be designated for either *Technology/Employment Center* and/or *Special Commercial Corridor*. The purpose of this flexibility was to allow industrial or technology firms the ability to locate within the corridor, adjacent to the existing railroad facilities; however, the flexibility would provide for an easy transition to commercial uses should a regional land use be identified for this area. This change was incorporated into *Map 1: Future Land Use Plan* contained in *Appendix C, Maps* of this Comprehensive Plan.

SUMMARY OF PLAN FRAMEWORK

The assemblage of all this information forms the *Plan Framework* of this study. A map of this framework is depicted in *Figure 1: Plan Framework*. A summary of the recommendations provided by this framework are as follows:

- (1) The corridor zones that were established as part of this study are intended to guide policy decisions for the final recommendations contained in Chapter 6, *Corridor Strategies & Implementation Plan*, of the *IH-30 Corridor Plan* and which are outlined in Subsection 02.01(3), *Corridor Strategies*, of this section of Appendix B, *Corridor Plans*.
- (2) The strategically located properties identified by the SPC were classified based on their potential carrying capacity for retail/regional land uses. This part of the plan framework was to draw attention to these properties and provide various possibilities that would fit the City's desire for regional development.
- (3) Monumentation locations were identified for the purpose of creating an eastern entry portal. The design of these monumentation markers should be incorporated into the site plan approval process to allow for review by the Architectural Review Board (ARB) prior to adoption by the City's Planning and Zoning Commission and City Council.
- (4) The SPC identified potential changes to two (2) roadways on the Master Thoroughfare Plan. This involves an

extension of Commerce Street and the removal of a proposed street running parallel to Security Drive.

- (5) Finally, a coherent land use plan that is tied to the goals of this study was laid out. This plan primarily promotes the future of the corridor being zoned and developed in accordance with the *Special Commercial Corridor* designation of this Comprehensive Plan; however, it does make some allowances for flexible land use (i.e. office/industrial).

3 CORRIDOR STRATEGIES

The final objective of the Staff Planning Committee (SPC) was to assemble a list of strategies that could be utilized as part of the implementation plan of this study. In doing this the SPC talked about *Offensive* and *Defensive Strategies*. In this case, the *Defensive Strategies* were thought to be pre-emptive strategies centered on regulation or policy actions that the City could implement for the purpose of addressing potential or perceived issues. *Offensive Strategies*, on the other hand, included proactive actions that involved activities like offering incentives, waivers and assistance. In doing this, the SPC also talked about what zone each strategy would affect and who would be responsible for implementing the strategy. A key to the corridor zones and implementation organizations is as follows:

DEPARTMENTS, BOARDS & COMMISSIONS

- City Council: CC
- Planning and Zoning Commission: PZC
- Architecture Review Board: ARB
- City Manager/Administration: M
- City Attorney: CA
- Building Inspections Department: BI
- Fire Marshals Division: FM
- Planning and Zoning Department: PZD
- Engineering Department: E
- Neighborhood Improvement Services: NIS

CORRIDOR ZONES

- Transitional Zone
- Preservation Zone
- Opportunity Zone

On March 18, 2019, the City Council approved the following *Offensive* and *Defensive* strategies for use within the IH-30 Corridor:

DEFENSIVE STRATEGIES

STRATEGY 1 PREVENT THE OVERSATURATION OF CERTAIN LAND USES IN THE CORRIDOR ●●

Prevent the oversaturation of certain land uses in the corridor by prohibiting and/or requiring discretionary approvals of these land uses.

Currently, the IH-30 Corridor has a high percentage of automotive (8.99%) and industrial (8.37%) land uses, which are typically incompatible with higher end retail users. In addition, these land uses -- *specifically automotive land uses* -- consume a large portion of the current frontage along IH-30 (~26.69%), which means these uses also have high visibility in the corridor. If the intent of the City is to create a commercial/retail corridor, special attention needs to be paid to what land uses are established on the remaining 45.35% vacant land. This is specifically important with the remaining 28.77% of vacant land with frontage on IH-30. To achieve this staff can review Article 04, *Permissible Uses*, of the Unified Development Code to look for possibilities to incorporate discretionary approvals or limit undesirable land uses along IH-30. In addition, staff can look to prohibit certain land uses (e.g. *outside storage*) that are currently allowed through discretionary approval, but may not be desirable for attracting and establishing a regional retail use.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): Since this is a policy change, there are no anticipated hard costs to be incurred by the City as a result of implementing this strategy. In addition, this strategy can be implemented without assistance from outside consultants.

Estimated Implementation Time: This is estimated to take between 20 to 40-hours of staff time to review the Unified Development Code and draft an ordinance addressing the proposed changes for the City Council's review. This text amendment would be required to be advertised and adopted in accordance with the procedures of the Unified Development Code (i.e. *approximately eight [8] weeks*).

STATUS: ONGOING

STRATEGY 2 INCONSISTENT ZONING REQUESTS ●●●

Zoning approvals that are inconsistent with the *Future Land Use Plan* contained in the Comprehensive Plan should be limited. The *Future Land Use Plan* is a document intended to guide zoning in the City of Rockwall. In addition, zoning approvals not consistent with the *Future Land Use Plan* could have a negative impact on existing land uses, and could have an undesirable effect on the economic stability of the corridor (i.e. *create*

conditions not conducive for retail land uses). Moreover, inconsistent zoning approvals change the *Future Land Use* mix, which is designed to yield an 80% Residential/20% Commercial mix (i.e. intended to yield a 67% residential value/33% commercial value tax base) per this Comprehensive Plan. To better address inconsistent changes in zoning, staff should develop a process to convey how the approval of inconsistent zoning would change the *Future Land Use Plan*. This should be provided with or in staff's case memos to the Planning and Zoning Commission and City Council.

Implementation Responsibility: PZD, CA, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: The Planning Division can implement this policy amendment through changes in the current procedures and through the creation and implementation of a tool that will clearly convey the desired information. It should be pointed out that the creation of this process is currently a *strategic goal* on the City's *Strategic Plan* and included in this Comprehensive Plan as an *Implementation Strategy*.

STATUS: ONGOING

STRATEGY 3 DISCOURAGE STRIP DEVELOPMENT ●●

The City of Rockwall has several *Strip Retail Centers* as defined in the findings from the benchmark analysis contained in Chapter 3, *Benchmark Analysis*, of the *IH-30 Corridor Plan*. The establishment of new strip retail centers could have the effect of cannibalizing the businesses that are currently located in the City's existing strip retail centers. This could also create a larger problem for the existing centers due to the transient nature of small businesses that tend to locate in these areas (i.e. *businesses in these shopping centers tend to move to newer developments as they progress along the highway*). To combat this possibility, the City could take steps to discourage strip retail centers by amending the design standards contained in the Unified Development Code. Examples of these changes would include policies targeted at requiring shared facilities (i.e. *parking, access, drive facilities, etc.*), limiting parking fields in the fronts of buildings, requiring the provision

of open space, restricting signage, etc. This would also require provisions that target mixed-used development (e.g. *office land uses mixed with retail/commercial land uses*). It should be noted that while the SPC did identify some of the strategically located properties as being ideal for *Strip Retail Centers*, this would ultimately depend on the carrying capacity of the corridor (i.e. *to avoid cannibalizing existing businesses the demand of the community would need to increase to justify an additional strip retail center*).

Implementation Responsibility: PZD, ARB, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change requires a comprehensive review of the City's commercial design standards, and would take time to prepare the necessary text amendments. The total time necessary to complete this strategy will vary depending on the extent staff will have to amend the ordinances. Staff estimates this could take between 30 to 40-hours to complete. In addition, it may be advantageous to use the Planning and Zoning Commission and/or Architectural Review Board (ARB) as design committees to assist staff in drafting the desired changes. Any ordinance changes would need to be adopted in accordance with the procedures contained in the Unified Development Code (i.e. *approximately eight [8] weeks*).

STATUS: ONGOING

STRATEGY 4 LIMIT SINGLE USE BIG-BOX DEVELOPMENT ●●●

Single use big-boxes can have an immediate and positive effect on a City's ad valorem tax value; however, if abandoned they can also have an effect on the perception of economic health in an area. Currently, the City's big-boxes appear to be economically sound with little to no risk of being abandoned; however, it is a good idea to take a pro-active approach to this issue. Single use big-boxes are typically attractive to businesses that are considered to be category killers and/or discount warehouse stores (e.g. *Wal-Mart, Home Depot, Costco, etc.*). Developing a single big-box is also the typical suburban model for these types of stores. By creating policies that force co-location and mixed-uses the City ensures that

these businesses adapt their models to meet the vision of the community, as opposed to allowing these businesses to dictate the community's appearance. By limiting single use big-boxes moving forward, it also has the added effect of protecting the City's current big-boxes, and perhaps staving off the possibility of having ghost boxes (i.e. *empty big-boxes*) in the future.

To achieve this, the City Council could look at development standards that discourage single use big-box users. These types of policies would include regulations like imposing size caps on single use big-box developments (i.e. *limit individual users to discretionary approvals on buildings that are greater than 20,000 – 30,000 SF*), drafting requirements that provide for roof and façade modulation to allow the buildings to be broken up in the case of abandonment, adopting parking requirements that require parking to be located behind the front façade of the buildings, creating a window requirement, and etcetera.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change would require staff to review the City's current *General Commercial Building Standards*, and draft an ordinance with the necessary text amendments. The total time necessary to complete this strategy could vary; however, staff estimates a completion time of 30 to 40-hours with an additional eight (8) weeks for the adoption of an ordinance change to the Unified Development Code.

STATUS: ONGOING

STRATEGY 5 ADAPTIVE REUSE ORDINANCE OR STRATEGY ●●

Building on the previous strategy, one of the main reasons that City's end up with vacant big-box developments are changes in the economics of a property's location (i.e. *the site can no longer support/sustain a larger retail user*). This may mean that a particular site or location is no longer viable as a large retailer. *Adaptive Reuse* ordinances, also referred to as *Ghost Box* ordinances, are ordinances intended to address this common problem. As previously stated, the City of Rockwall has not had issues with empty big-boxes; however, a

proactive approach to this issue could prove to be valuable in the future. Below is a picture of the vacant *Sports Authority* building, which is a single user big-box that was vacated in 2016. Luckily, this building was quickly replaced with an *Academy Sports and Outdoors*; however, this quick replacement may not always be the case.

The City's current ordinance does incorporate an accountability clause that states that "(f)or those buildings over 80,000 SF in area, the applicant must demonstrate that the building can be subdivided in a reasonable manner by submitting a plan indicating potential entrances and exits and loading areas for multiple tenants." This language could be strengthened and the requirement for this accountability clause could be lowered to buildings greater than 30,000 SF. In addition, the City Council could look into establishing ordinances that: (1) creates a fee waiver program for the adaptive reuse of buildings greater than 30,000 SF (*i.e. creating a waiver for building permit fees*), (2) establish a bonding program that is tied to the demolition of the big-box, (3) creates a program that stipulates companies building big-boxes be required to pay into a *Land Conservation Fund*, which can be used for re-greening or converting an abandoned big-box to allow for infill development (*these ordinances are referred to as White Elephant Ordinances*), and/or (4) creates an incentive zone that deals with alternative use/requirements for conversion/redevelopment efforts.



Figure 6.1: Vacant Sports Authority building prior to being converted to an Academy this year.

Implementation Responsibility: PZD, CA, CM, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The time necessary to create an *Adaptive Reuse Ordinance* or policy will depend on the scope

that the City Council chooses. These programs also would need to be vetted by the City Attorney. In this case, it may take several months to prepare and adopt an ordinance creating each of these programs.

STATUS: *IN PROCESS*

STRATEGY 6 PROMOTE THE INCORPORATION OF OPEN SPACE IN LARGER DEVELOPMENTS

As was seen in the *Benchmark Analysis* in Chapter 3, *Benchmark Analysis*, of the *IH-30 Corridor Plan*, nearly all of the regional developments surveyed by the SPC contained open/green space. The importance of incorporating open/green space in commercial developments was further validated through the stakeholder engagement process. In both exercises requesting participants to identify their preferred development choice -- *with the choices being those reviewed by the SPC as part of the benchmark analysis* -- the top results were developments incorporating large amounts of open/green space (e.g. *Grandscape* at 26% open space and *Toyota Stadium* at 5% open space and 35% sports fields). In addition, the exercise asking participants to prioritize issues/priorities in the corridor indicated that open/green space was important. Both *Parks/Trail/Walkability* and *Increased Open Space* scored in the top five (5) items identified by the public as priorities and issues. Moving forward provisions requiring a percentage of functional open space -- *above and beyond the required landscape buffer and detention ponds* -- could be incorporated into the design standards for large commercial developments. This would need to be scaled to the development and would not be applicable across the board (*i.e. would not be appropriate for developments with less than 20-acres*).

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): Since this strategy would affect future development the implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The implementation of this policy could be completed with an estimated ten (10) to 20-hours of staff time required to prepare an ordinance amendment to the Unified Development Code (*i.e. approximately eight [8] weeks for approval*).

STATUS: *ONGOING*

STRATEGY 7 REVAMP THE CITY'S PARKING STANDARDS

Commercial developments along the corridor are exclusively made up of surface parking lots situated in the fronts of buildings. Often times these parking areas are two (2) to three (3) times larger than the building it services (see *image below*).



Figure 6.2: Kohl's Parking Lot, which recently was subdivided to incorporate a Cracker Barrel restaurant at the northeast corner.

In most of these cases the parking lot is rarely if ever full. To address this issue the City Council could choose to establish parking maximums that would limit inefficient uses of land within the corridor. These policies could also promote shared parking agreements and structured parking.

Typically, the argument against structured parking is the high initial cost to establish these facilities; however, if a district wide approach that discourages single use big-boxes is taken by the City, it is not inconceivable to expect more efficient parking solutions. In addition, the City should, where possible, promote shared parking arrangements that are mutually beneficial to developers, property owners and tenants by accounting for varying peak demand. This should have the benefit of increasing the buildable land within the corridor.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: The implementation of this policy change is anticipated to take between ten (10) to 20-hours of staff time to research and prepare an

ordinance amending the parking requirements contained in the Unified Development Code. The ordinance would take approximately eight (8) weeks for approval/adoption.

STATUS: IN PROCESS

STRATEGY 8 CREATE MODEL ZONING ORDINANCE FOR REGIONAL MIXED-USE DEVELOPMENT

Article 05, *District Development Standards*, of the Unified Development Code contained standards for a Mixed-Use Overlay (MUO) District (*these standards were recently removed*); however, this district has not been applied to the zoning map. Building off the current standards contained in this section of the code, staff could create a model zoning ordinance for either an overlay district that can be applied to the strategic properties in the corridor or model regulations for a planned development district ordinance -- *similar to the residential standards contained in Article 10, Planned Development Regulations, of the Unified Development Code* -- intended to regulate mixed-use development in the corridor. This could include the information observed by the SPC as part of the *Benchmark Analysis*. This type of ordinance would also layout the City's desired site and building design standards, as well as, address any *incentive zoning* practices intended to incentivize regional development.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: Staff estimates that a model zoning ordinance could be drafted in two (2) to three (3) weeks. The ordinance would take approximately eight (8) weeks for approval.

STATUS: IN PROCESS

STRATEGY 9 ADOPT POLICIES TARGETED AT SUPPORTING SMALL BUSINESSES

As part of the *Benchmark Analysis*, the SPC noticed that many of the regional centers they surveyed (*specifically mixed-use centers*) were built with a larger focus on smaller lease spaces. This is directly opposed to the classic

anchor model, which is prevalent in *Strip Retail Centers* and until recently was the preferred model for suburban development by developers. This shift, however, signifies the importance that developers are now placing on small businesses. This may be due to the idea that small businesses have several understated benefits that extend beyond a City's bottom line. For example, small businesses that are successful in a community can shape a unique identity, create a sense of place and enhance community character. In addition, small businesses also have the added benefit of being well suited for adaptive reuse situations, which could play a major role in the economic vitality of the corridor in the future. Rockwall, as a whole, has a healthy history of supporting small businesses -- *especially in the downtown area* -- and there is no reason for this not to continue in the City's primary commercial/retail corridor. To ensure that small businesses are supported in the corridor, staff should look to remove any unintentional barriers in the zoning code that might hinder a small business' ability to open in Rockwall. The majority of these barriers will be in the City's land-use categories, which are somewhat outdated for many of the new types of uses that have been established recently. Addressing this subject, the July 2016 issue of *Zoning Practice* (a periodical released by the *American Planning Association*) identifies four (4) examples of new land uses that have emerged as small businesses recently: (1) specialty food production, (2) industrial design, (3) artisan industrial, and (4) local alcohol production facilities. Under our current use charts these uses, in most cases, would be classified under an *Industrial and Manufacturing* label allowing them to locate in Heavy Commercial (HC), Light Industrial (LI) and Heavy Industrial (HI) Districts; however, these uses typically depend on the foot traffic generated by commercial-retail areas and would not fare well in the City's industrial districts. An example of this dilemma was recently addressed by the City Council with the text amendment incorporating the *Craft Brewery, Distillery and/or Winery* land use. Prior to the amendment, the code treated all breweries the same, and did not make a distinction between large industrial breweries and small-scale craft brewers. As a result, these uses were relegated to only being permitted in a Light Industrial (LI) or Heavy Industrial (HI) District, when in reality they operate more as a retail/restaurant type of business. By changing the code to allow this use by a Specific Use Permit (SUP), the City Council created discretionary flexibility that allows this land use into areas of the City that

could be better suited to the long-term viability of the business. This flexibility could be beneficial to other land use categories that have undergone fundamental changes in the way they operate. This can be achieved by not only reviewing the City's *Permissible Use Charts*, but also the design standards in the corridor to ensure there are no unreasonable barriers of entry for small businesses.

Another approach the City could take to support small businesses is the continued release of information pertaining to demographics and market analysis. Many small businesses and startups have limited capital to spend on expensive reports and demographic breakdowns of the City. Staff can support these businesses by making reports and studies (e.g. *2017 Existing Conditions Report and this report*) available online to the public. An example of this effort includes the *Retail Shopping Destinations* interactive map, which contains demographic information for the City and its shopping centers. This tool is intended to help small businesses looking to locate in the community.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: Staff estimates that a comprehensive look into the City's *Permissible Use Charts* and commercial design standards could take between 60 to 70-hours to prepare an ordinance making the necessary amendments. The ordinance would take eight (8) weeks for adoption.

With regard to making reports and demographic information online, this has become standard operating procedure for staff and unless directed otherwise staff will continue to make these items available.

STATUS: IN PROCESS | ONGOING

STRATEGY 10 RESIDENTIAL DENSITY BONUSES FOR PROJECTS THAT INCORPORATE A MIXTURE OF LAND USES

The City Council could choose to implement policies that would allow high-density residential land uses along IH-30 pending the project incorporate a mix of land uses (e.g. *hotel, restaurant, retail, entertainment, etc.*).

Through the public survey, many citizens indicated a want for higher end retailers and specialty grocers. These uses typically are attracted to areas with high intensity developments that incorporate a higher density residential component. The City Council could use the City's high demand for multi-family, to incentivize a developer proposing a regional mixed-use development along IH-30 by granting density bonuses. This would involve granting densities greater than the current 14 dwelling units per acre permitted in the City's Multi-Family 14 (MF-14) District. It should be noted that this type of strategy would depend on the residential units being integrated into the overall development (*i.e. structured or block styled apartments above retail or office use, which is common in traditional mixed-use developments, would be more desirable under this strategy than garden style apartments – similar to the condominiums constructed at the Harbor*). This strategy depends on the City's demand for multi-family remaining high, which may require other land use strategies moving forward (*e.g. balancing the City's mix of housing units and limiting multi-family development to areas along the IH-30 corridor, away from other single-family neighborhoods, and from any other areas in the city*). Under the City's current housing mix, this policy would only be viable if the multi-family percentage were decreased below an estimated 12%. Currently, this percentage is around 18%. By reducing the percentage and not approving subsequent projects, the City ensures that a high level of demand exists, and that this demand can be leveraged to attract the desired commercial/retail development. It should also be noted that this could be done under an ownership model as opposed to a rental model by using townhomes and/or condominiums.

Implementation Responsibility: PZD, M, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: This policy change would have implications on the policies contained in this Comprehensive Plan. The implementation of this strategy would require staff to review the procedures and design standards in the Unified Development Code to ensure compatibility with the intended objective. Staff estimates this could take between 50 to 60-hours to complete, and would need to be adopted in accordance with the procedures contained in the Unified

Development Code (*i.e. approximately eight [8] weeks*). In addition, since this policy is driven by the demand of multi-family, its implementation would depend on the current multi-family percentage being decreased to a level that can be leveraged for the desired commercial/retail development.

STATUS: **IN PROCESS** | ONGOING

STRATEGY 11 WORK WITH THE REDC AND CHAMBER OF COMMERCE TO COORDINATE BUSINESS RECRUITMENT AND RETENTION EFFORTS ●●●

Intergovernmental cooperation between the City, Rockwall Economic Development Corporation (REDC) and the Chamber Commerce to create a Community Business Retention and Recruitment Program may be advantageous to retaining the businesses we have while targeting a regional commercial retail user. In addition, this cooperation ensures that all agencies are aware of the strategies and efforts of other agencies.

Implementation Responsibility: M

Anticipated Cost(s): This strategy is not anticipated to have any additional costs to any of the agencies listed above.

Estimated Implementation Time: Since this strategy requires coordination between a government, a quasi-government and a private service organization it is difficult to establish a implementation timeline.

STATUS: ONGOING

STRATEGY 12 WORK WITH TXDOT ●●●

Work with the Texas Department of Transportation (TxDOT) to improve circulation and connectivity in the corridor, and to regulate traffic patterns and speed limits. This could also include plans for improved multi-modal mobility and pedestrian access in the corridor.

Implementation Responsibility: E & M

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and will not require the assistance of outside consultants.

Estimated Implementation Time: The City currently works closely with TxDOT, and is in the process of planning the IH-30 corridor for the proposed IH-30 improvements scheduled for 2021.

STATUS: ONGOING

OFFENSIVE STRATEGIES

STRATEGY 1 SMALL AREA PLANS ●

Using the strategically located properties depicted in *Figure 1: Plan Framework*, staff could create small area plans for each of the properties using the findings from the benchmark analysis of this document. By providing small area plans for each of these properties, the City would better convey to the development community the desired outcome for each of these areas. This could help to facilitate a regional development.

Implementation Responsibility: PZD, PZC & CC

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional hard costs for the City, and should be able to be implemented without assistance from outside consultants.

Estimated Implementation Time: The time frame for the completion of the small area plans will vary. Staff estimates that each plan could be completed in approximately one (1) week to one (1) month depending on the scope and detail of the small area plan.

STATUS: **IN PROCESS**

STRATEGY 2 DEMOLITION PERMIT FEE WAIVER ●

A program creating an administrative waiver of demolition fees could be implemented to assist property owners along IH-30 interested in redeveloping an existing property. While this will not have a major or immediate impact on corridor redevelopment, it is a program that can be implemented easily and can be administered at the staff level (*i.e. as opposed to discretionary oversight of the City Council or other boards or commissions*).

Implementation Responsibility: BI & CC

Anticipated Cost(s): The implementation of this program is not anticipated to have a significant effect on the city's revenues, nor will it be costly to implement. For example, a demolition permit application costs \$50.00, and of the 18 demolition permits issued in 2016, six (6) were in the IH-30 corridor. This would represent a total cost to the City of \$300.00 for a one-year period.

Estimated Implementation Time: It is estimated that this program could be implemented with five (5) to ten (10) hours staff time to research and prepare an ordinance or resolution outlining the process that can be taken to the

City Council for approval. This ordinance can be approved by the City Council without being subject to the requirements of the Unified Development Code (i.e. approximately four [4] weeks for adoption).

STATUS: ONGOING

STRATEGY 3 EXISTING BUILDING CODE ●

Property owners in the IH-30 corridor interested in redevelopment could be allowed to use the 2015 International Existing Building Code, which is generally less restrictive than the 2015 International Building Code (IBC) and 2015 International Fire Code (IFC). The 2015 International Existing Building Code is a code that is intended to provide model regulation for existing buildings and is generally less prohibitive than the City's other codes. Currently, the City only utilizes this code in certain circumstances; however, this use could be expanded to ease regulations on existing rehabilitation work. Implementing this strategy would also help to address one (1) of the comments that was expressed at the stakeholder meeting, and which stated that "(e)xisting and older buildings need to grandfathered from any retroactive zoning/building requirements that may be added." While the City does not retroactively apply zoning requirements, new work on existing buildings is typically subject to the building code that is in place at the time of the permit. In this case, it would ease requirements and allow for a code that is expressly intended to regulate existing buildings.

Implementation Responsibility: BI & FM

Anticipated Cost(s): The implementation of this policy change is not expected to incur any additional costs for the City, and should be able to be implemented without the assistance of outside consultants.

Estimated Implementation Time: This policy change can be implemented at an administrative level by changing the City's policy and defining when the 2015 International Existing Building Code can be used.

STATUS: ONGOING

STRATEGY 4 CIP PROJECTS ●●

Capital Improvement Projects (CIP) scheduled for the study area and intended to support

existing businesses could be approached with a higher priority than other projects. Currently, there are no anticipated projects intended for the study area; however, this strategy could be used when projects are identified in the future.

Implementation Responsibility: E, M & CC

Anticipated Cost(s): This strategy is not anticipated to have any additional costs associated with it since it deals with the future prioritization of projects on the CIP.

Estimated Implementation Time: This strategy is not anticipated to require a great deal of staff time to implement; however, it would require the foresight and consideration of staff when planning the CIP in the future.

STATUS: ONGOING

STRATEGY 5 CITY INITIATED ZONING OF THE CORRIDOR ●

To avoid undesired and unplanned land uses in the corridor the City Council could consider a City initiated action rezoning all property in the corridor to a Commercial (C) District designation. This strategy would ensure that the corridor develops in accordance with the uses permitted in the targeted zoning district; however, this would need to be carefully evaluated and vetted by the City Attorney to avoid any legal hurdles associated with this method. As an alternative strategy, the City could offer the change in zoning classification to property owners on a mass and voluntary basis. This strategy would allow many of the Agricultural (AG) properties within the district the ability to secure Commercial (C) District zoning without having to pay the fees for initiating a zoning case. In addition, this would allow people to market their properties as commercial property.

While the voluntary method is the most desirable, it does not ensure 100% participation from property owners in the corridor. This method could also have the negative effect of entitling property for Commercial (C) District land uses, while not incentivizing a regional mixed-use center. To prevent this, the City Council could consider establishing a new zoning district or planned development district that would have the effect of limiting certain land uses. Under this method, if any residential component was incorporated into the zoning it could fall under upzoning (i.e. allowing a greater range of land uses), which could make the request more difficult to challenge. Staff should note that any City initiated zoning request should be

approached under the advisement of the City Attorney.

Implementation Responsibility: CA, M, PZD, PZC & CC

Anticipated Cost(s): All the anticipated costs for this strategy will vary depending on the involvement of the City Attorney.

Estimated Implementation Time: The implementation time of this strategy will depend on the approach of the City Council.

STATUS: INCOMPLETE

4 IMPLEMENTATION PLAN

Perhaps the most important thing to point out is that markets are not static, and have a substantial potential to change. This is especially true with regard to commercial/retail development trends. It will be necessary to update the information in this study on a regular basis and to make sure that the direction of this study is still in-line with the community's vision. This is specifically important with regard to the market analysis contained in the IH-30 Corridor Plan.

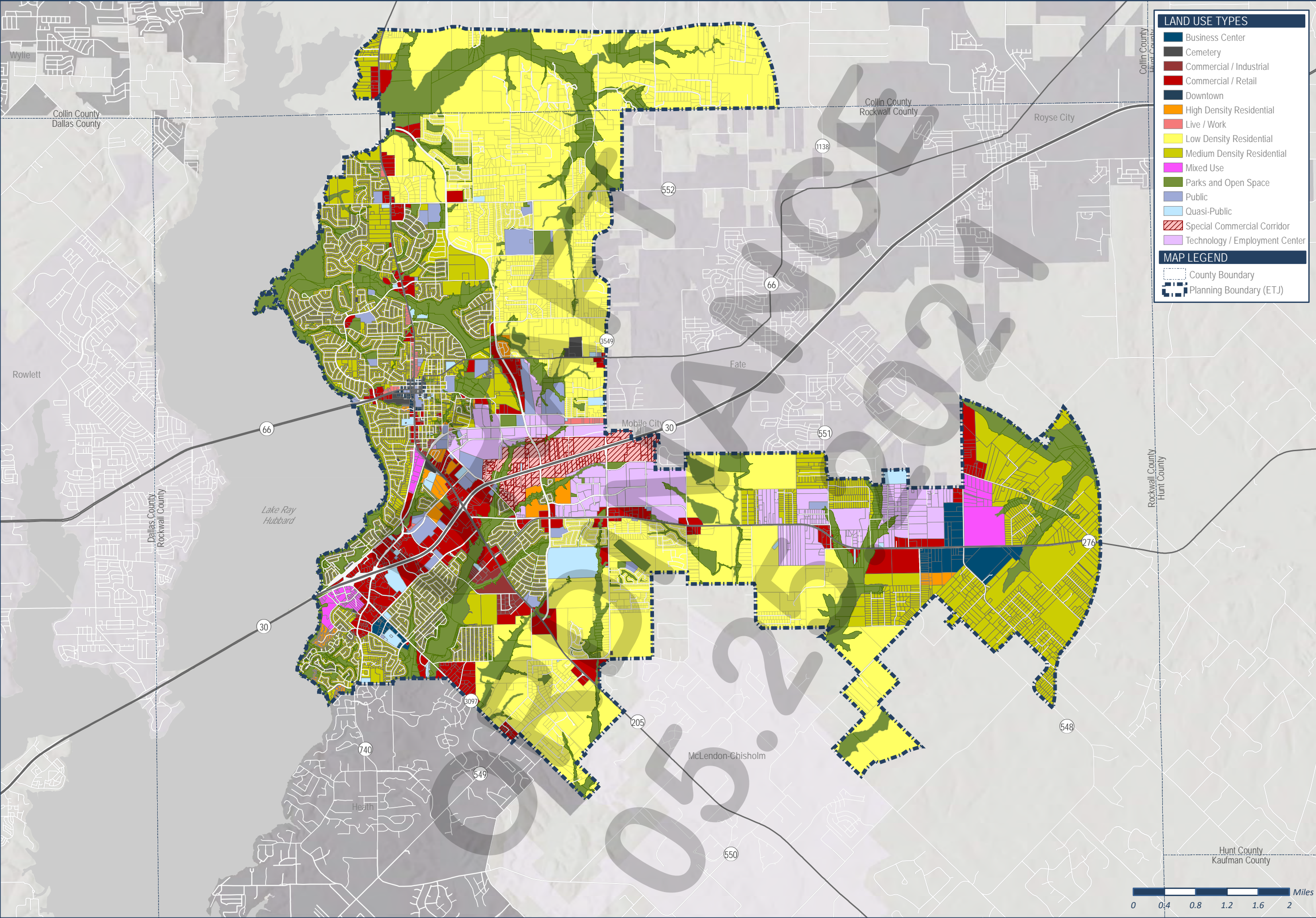
Finally, when making future decisions in the corridor all parties will need to make sure that development requests, policy decisions, discretionary approvals and any other action affecting the study area are looked at in a global sense. Taking a district wide approach to how the corridor develops in the future will ensure that the community is developing in accordance to its vision and not letting individual developments dictate the community's appearance. This will be especially important for staff to relay to applicants looking to develop and/or establish themselves in the IH-30 corridor.



FUTURE LAND USE PLAN

COMPREHENSIVE PLAN 01 | LAND USE & GROWTH MANAGEMENT

1

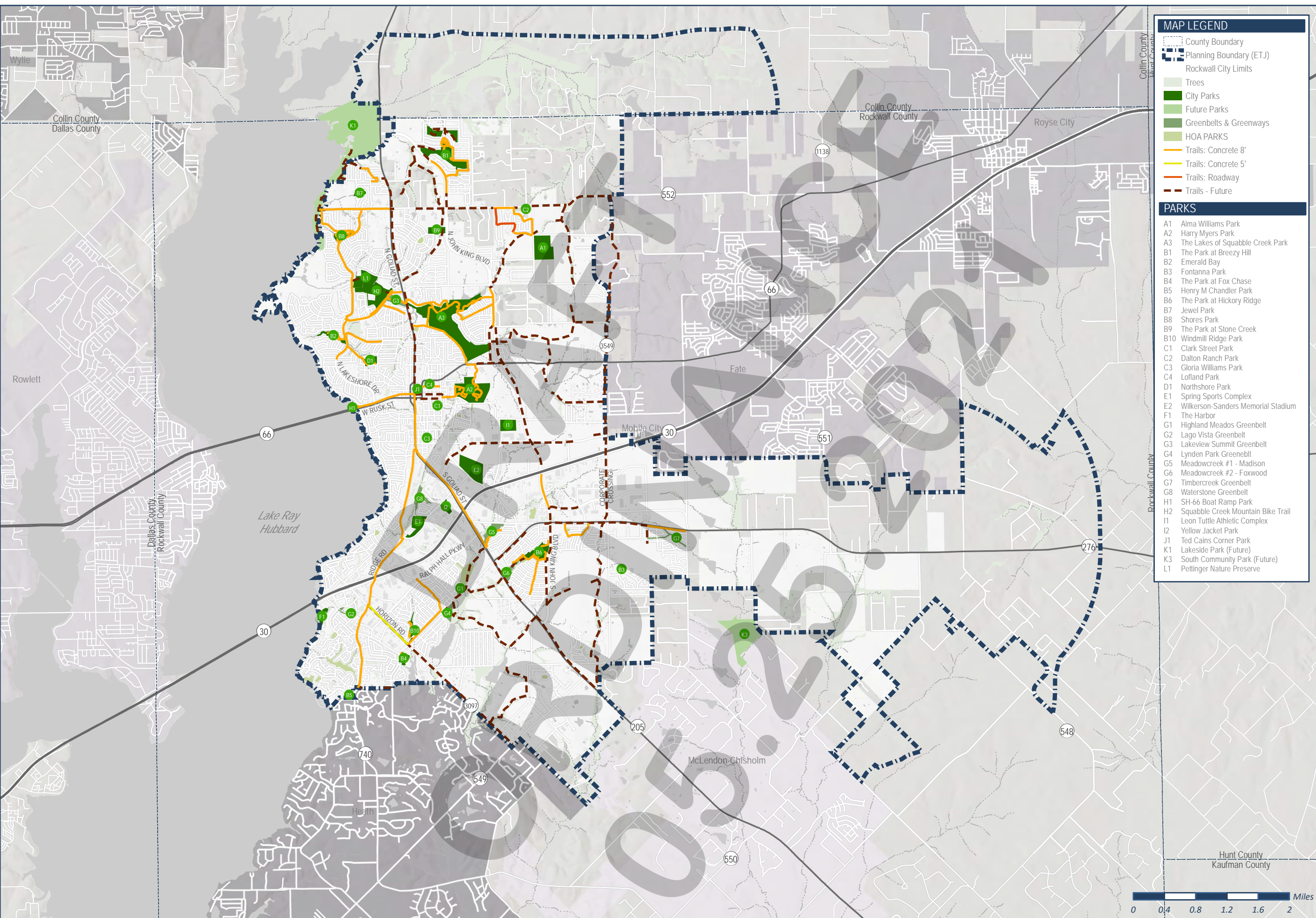




MASTER TRAIL PLAN

COMPREHENSIVE PLAN 03 | PARKS, OPEN SPACE AND TRAILS

2



MAP LEGEND

- County Boundary
- Planning Boundary (ETJ)
- Rockwall City Limits
- Trees
- City Parks
- Future Parks
- Greenbelts & Greenways
- HOA PARKS
- Trails: Concrete 8'
- Trails: Concrete 5'
- Trails: Roadway
- Trails - Future

PARKS

- A1 Alma Williams Park
- A2 Harry Myers Park
- A3 The Lakes of Squabble Creek Park
- B1 The Park at Breezy Hill
- B2 Emerald Bay
- B3 Fontanna Park
- B4 The Park at Fox Chase
- B5 Henry M Chandler Park
- B6 The Park at Hickory Ridge
- B7 Jewel Park
- B8 Shores Park
- B9 The Park at Stone Creek
- B10 Windmill Ridge Park
- C1 Clark Street Park
- C2 Dalton Ranch Park
- C3 Gloria Williams Park
- C4 Lofland Park
- D1 Northshore Park
- E1 Spring Sports Complex
- E2 Wilkerson-Sanders Memorial Stadium
- F1 The Harbor
- G1 Highland Meadows Greenbelt
- G2 Lago Vista Greenbelt
- G3 Lakeview Summit Greenbelt
- G4 Lynden Park Greenbelt
- G5 Meadowcreek #1 - Madison
- G6 Meadowcreek #2 - Foxwood
- G7 Timbercreek Greenbelt
- G8 Waterstone Greenbelt
- H1 SH-66 Boat Ramp Park
- H2 Squabble Creek Mountain Bike Trail
- I1 Leon Tuttle Athletic Complex
- I2 Yellow Jacket Park
- J1 Ted Cains Corner Park
- K1 Lakeside Park (Future)
- K3 South Community Park (Future)
- L1 Pettinger Nature Preserve

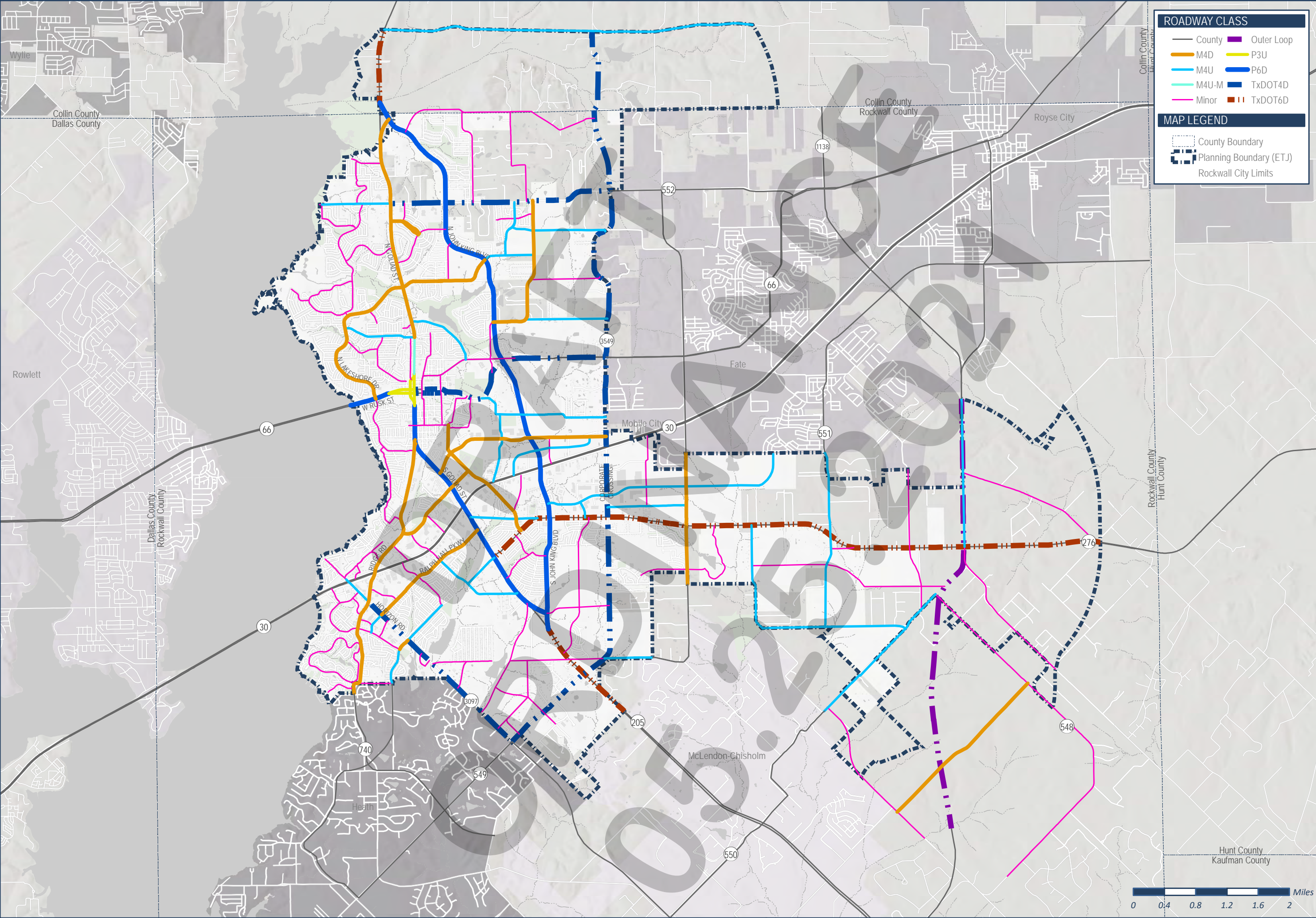




MASTER THOROUGHFARE PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

3

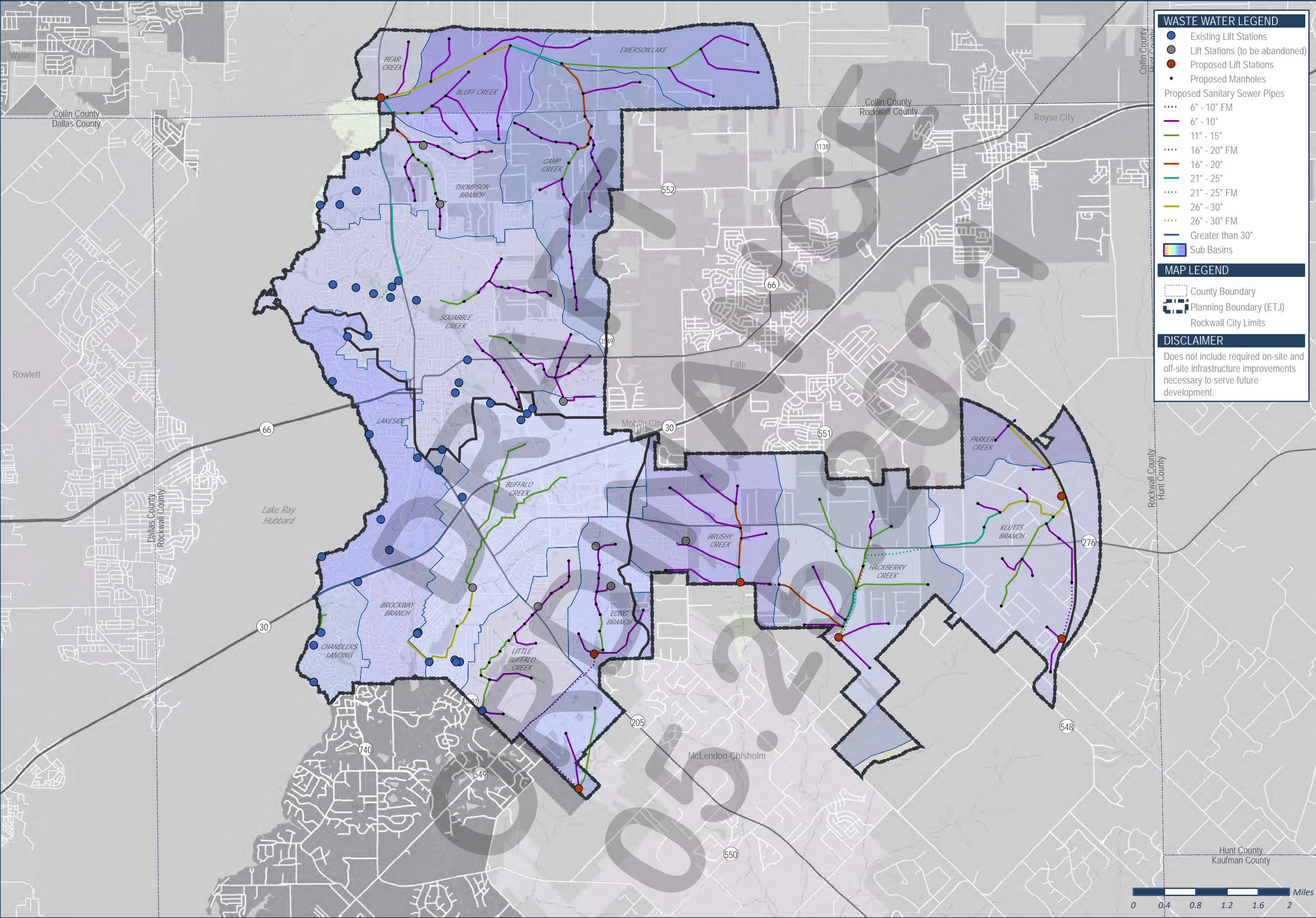




MASTER WASTE WATER PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

4

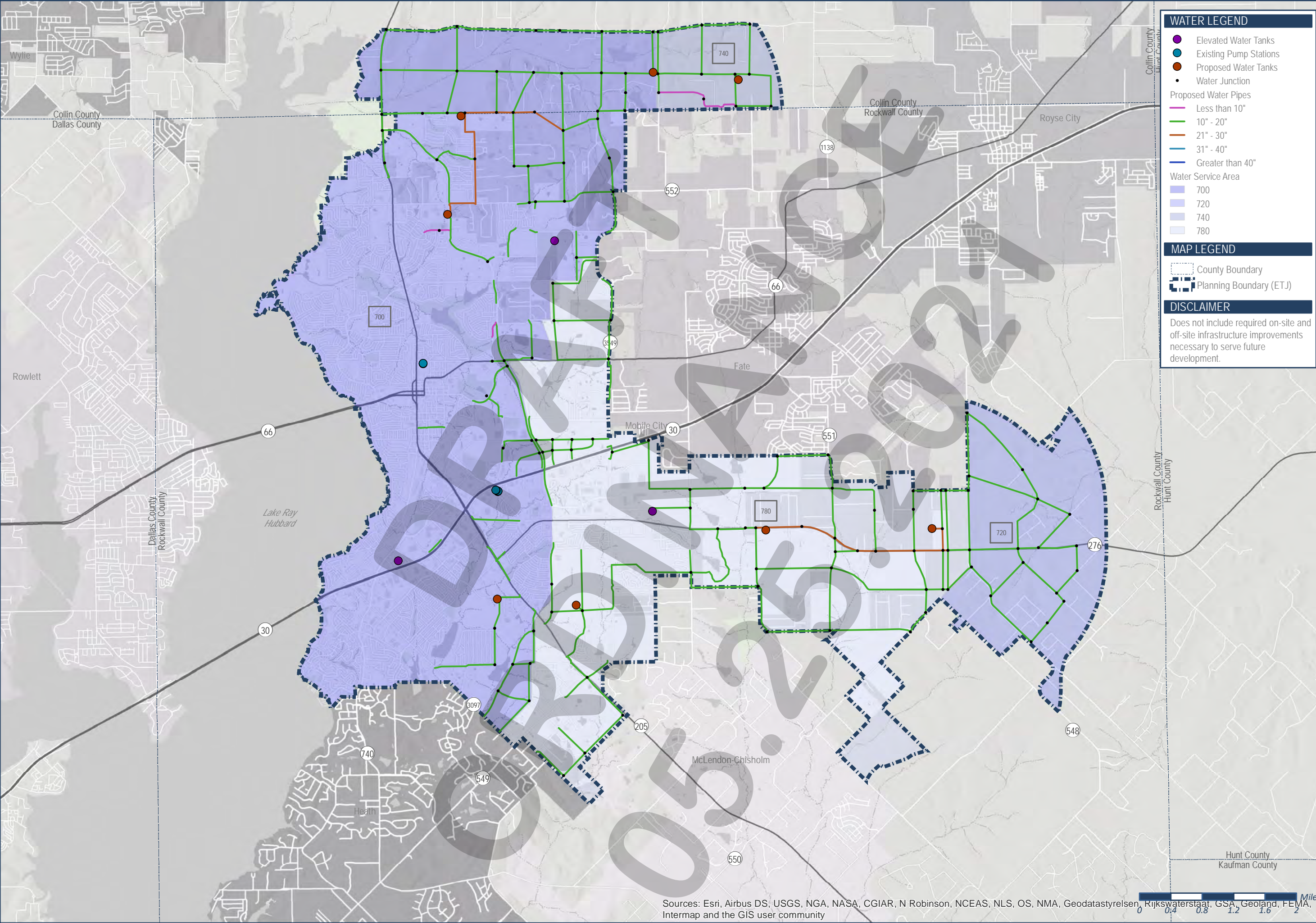




MASTER WATER PLAN

COMPREHENSIVE PLAN 04 | INFRASTRUCTURE

5



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

